



November 4, 2025

Mr. Jose Antonio Barbosa Rosas
Benchmark Group
1801 North Lamar Street
Dallas, TX 75202

Sent Via Email:
Abr@teamofchoice.com

Subject: Approval of Administrative Use Permit 00958407-PAUP for The Little Gym, at 3992 Barranca Parkway, Suite D, in Planning Area 14 (West Park)

Dear Mr. Rosas:

Community Development Department staff reviewed Administrative Use Permit 00958407-PAUP to operate a proposed commercial school at 3992 Barranca Parkway, Suite D, within the Crossroads Shopping Center. The center is bounded by Paseo Westpark to the west, Barranca Parkway to the north, and Culver Drive to the east. Surrounding land uses include residential to the north, and commercial to the east and south, and west. The center is located within Planning Area 14 (West Park) and is zoned 4.2B Community Commercial.

On October 14, 1986, the City Council approved the West Park District Commercial Site under Master Plan 86-MP-0021. The site was later renamed to Crossroads Shopping Center. Pursuant to the City's records, the 288,758-square-foot center contains a variety of uses including retail, restaurants, a health club, and gas station.

As described in the letter of justification, The Little Gym proposes to operate a "school, commercial," within a 2,830-square-foot retail tenant space (Enclosures 1 and 2). The facility will offer instructor-led, gymnastics-based classes for children between the ages of four months to 12 years old, with a maximum of 21 students at any given time. The Little Gym will also offer ancillary birthday party services, parent classes, seasonal camps and private instruction, limited to 21 participants and scheduled only during the weekend and evening off-peak hours on weekdays. Classes will only be open to registered members and party guests. Importantly, the project will update the interior space, but would not alter the existing site plan, parking supply, or landscaping of the Crossroads Shopping Center.

Section 1-2-1 of the Irvine Zoning Ordinance defines "school, commercial" as "a business establishment where instruction is given, in exchange for payment of a fee. Examples of subjects taught include, but are not limited to, dance, computer skills, music, and martial arts." Based on the business description contained in the applicant's

letter of justification, the proposed use is classified as a commercial school, which is conditionally permitted in the 4.2B Community Commercial zone with the approval of an administrative use permit.

Section 4-3-4 of the Irvine Zoning Ordinance identifies the parking requirements for a "school, commercial" as "one space per instructor and employee, plus one space per three students."

The Little Gym will include a maximum of five instructors/staff, and up to 21 students at any given time, requiring 12 parking spaces. Based upon the existing parking required for the 2,830-square-foot tenant space, there is no net change in parking. The Crossroads Shopping Center, of which the subject retail shopping center is a component, is required to provide 1,436 parking spaces with 1,567 spaces provided, resulting in a surplus of 131 spaces. Therefore, there is sufficient parking to accommodate the 12 spaces required for the proposed use. Additionally, a condition of approval (Condition 6.19) has been added requiring a total on-site occupancy not to exceed 26 individuals at any time, including instructors/staff and students, to minimize onsite parking demands.

Based on the applicant's operational schedule (Enclosure 1), The Little Gym will operate Monday – Thursday from 9 a.m. to 7 p.m. and, Saturday from 8:30 a.m. to 1:00 p.m. As demand is expected to increase, additional classes are proposed to be scheduled on Fridays from 9 a.m. to 7 p.m., and Sundays from 8:30 a.m. to 12 p.m. Classes will be scheduled in 45- to 60-minute sessions, with a maximum of seven sessions per day. Additionally, as discussed earlier, The Little Gym proposes to provide ancillary birthday services on weekends or off-peak weekday evenings.

Pursuant to Section 4 of the City of Irvine California Environmental Quality Act (CEQA) procedures and Article 19 of the State CEQA Guidelines, it has been determined that the proposed commercial school is categorically exempt from the requirements of CEQA, under Section 15301, Class 1, Existing Facilities. A Notice of Exemption has been prepared by staff and provided with this letter (Enclosure 3).

Based on the submittal, the Director of Community Development makes the following findings, pursuant to Section 2-33-7 of the Irvine Zoning Ordinance, and hereby approves Administrative Use Permit 00958407-PAUP.

- A. The administrative use will comply with all the applicable development standards of the Zoning Ordinance and the purpose of the zoning district in which the site is located.

The subject property is zoned 4.2B Community Commercial, which permits commercial schools with an administrative use permit. The existing suite contains approximately 2,830 square feet of floor area. Based on the applicant's proposal,

The Little Gym operation will include up to five instructors/staff and 21 students at any one time, requiring 12 parking spaces. The Crossroads Shopping Center, of which the subject retail shopping center is a component, is required to provide 1,436 parking spaces with 1,567 spaces provided, resulting in a surplus of 131 spaces. Therefore, there is sufficient onsite parking to accommodate the proposed use. Additionally, Condition 6.19 has been added requiring the total on-site occupancy to not exceed 26 individuals at any given time, including instructors/staff and students, to further reduce parking demands.

The project is limited to interior alterations and does not propose any exterior modifications to the building, changes to site circulation, alterations to landscaping, or reconfiguration of existing drive aisles or driveways. As such, the project maintains compliance with all applicable site development standards, including but not limited to parking, building height, floor area, setbacks, and landscaping.

Furthermore, the project supports the purpose of the 4.2B Community Commercial zone by introducing a community-serving instructional use that is consistent with the district's intent to provide a mix of commercial and service-oriented uses that serve surrounding residential populations. Accordingly, the proposed use is consistent with the intent of the zoning district and complies with all applicable provisions of the Irvine Zoning Ordinance.

- B. Adequate traffic circulation, off-street parking, and pedestrian safety will be maintained during the operation of the administrative use.

The proposed commercial school will occupy an existing 2,830-square-foot suite within the Crossroads Shopping Center and involves no changes to the existing site layout, building footprint, or circulation pattern.

Based on the applicant's proposal, the maximum occupancy at any given time will consist of five employees and 21 students, requiring 12 parking spaces. As a result, with 1,436 spaces provided on site compared to 1,567 required for the overall development, the Crossroads Shopping Center provides a surplus of parking that can accommodate the proposed commercial school.

The Little Gym will not adversely impact existing circulation, parking, or pedestrian safety at the Crossroads Shopping Center. The scheduled instructional lessons, limited to a maximum of up to 21 students and five instructors/staff at any one time, ensures that vehicle arrivals and departures remain at a manageable volume. Condition 6.19 has been added to the project requiring total on-site occupancy to not exceed 26 individuals at any time, including instructors/staff and students, which will further reduce parking-related impacts. Additionally, the project does not propose any changes to the existing walkways or on-site lighting, ensuring pedestrian safety remains consistent with the original design. Therefore, the proposed commercial

school will not adversely impact the existing circulation patterns within the retail center and will have no effect on the off-street parking nor negatively impact pedestrian safety.

- C. The administrative use will not impair the character and integrity of the zoning district and surrounding area.

The proposed use includes the operation of a commercial school offering instructor-led gymnastics-based activity classes in the 4.2B Community Commercial zone. The use is minor in scale, operates indoors, and will not result in any exterior modifications. The instructional nature of the business is compatible with surrounding retail and service uses. Therefore, the proposed use will not impair the character or integrity of the zoning district or surrounding area.

- D. The proposed use is in harmony with applicable City policies and the intent and purpose of the zoning district involved.

The project site's zoning designation of 4.2B Community Commercial identifies the intent and purpose of the zone as an area that accommodates a variety of complementary retail and service uses within a commercial environment. The proposed use is classified as a commercial school, a use that is permitted in this zoning district with an administrative use permit. The proposed commercial school expands the range of services available to residents and families of Planning Area 14 (West Park) and the broader community. The use also aligns with the community's interest in cultural enrichment and personal development. Additionally, the project contributes to the local economy through employment opportunities and small business investment. Therefore, the proposed commercial school use is in harmony with City policies, and the intent and purpose of the 4.2B Community Commercial zoning regulations.

- E. The administrative use will not be detrimental to the public health, safety or welfare, or materially injurious to properties or improvements in the vicinity.

The proposed commercial school will contribute to the overall vibrancy within the area by providing a valuable service for the residents of Irvine and the surrounding area. The commercial school is also compatible with surrounding businesses, which include retail, restaurants, a health club, and a gas station. The commercial school's operational model, featuring scheduled lessons and a maximum of 26 people at any given time (including five staff and 21 students), ensures a low impact on the area. Any potential noise impacts to adjoining tenants or exterior areas will be minimized through affective sound attenuation measures where necessary.

Further, the project does not involve any changes to the existing building footprint, square footage, landscaping, driveways, or circulation system. Therefore, the

proposed commercial school use will not negatively impact adjacent tenants, the surrounding area, or other uses within the Crossroads Shopping Center.

The approval is subject to the following conditions of approval:

Standard Condition 6.1

DISCRETIONARY CASE CHARGES

The applicant is responsible for paying all charges related to the processing of this discretionary case application within 30 days of the issuance of the final invoice or prior to the issuance of building permits for this project, whichever occurs first. Failure to pay all charges shall result in delays in the issuance of required permits or may result in the revocation of the approval of this application.

Standard Condition 6.2

LEGAL ACTION - HOLD HARMLESS

In accordance with the provisions of Section 5-5-114 of the Irvine Municipal Code and Government Code Section 66474.9, the applicant shall defend, indemnify, and hold harmless the City of Irvine and its agents, officers, and employees from and against any claim, action, or proceeding against the City agency or its agents, officers, or employees to attack, set aside, void, or annul an approval by the City, including, without limitation, an action by an advisory agency, appeal board, or legislative body concerning this discretionary approval. This defense and indemnification shall include the payment of all legal costs incurred on behalf of the City in connection with the application, and the defense of any claim, action or proceeding challenging the approval. The City will promptly notify the applicant of any claim, action, or proceeding and will cooperate fully in the defense.

In the event a legal challenge to the discretionary approval is successful, and an award of attorney fees is made to the challenger, the applicant shall be responsible to pay the full amount of such an award.

Condition 6.19

OPERATIONAL RESTRICTIONS

This project pertains to the operation of a commercial school use. The business shall operate in accordance with the following conditions:

- A. Classes will not be held during the morning peak hour period of 7 and 8:30 a.m. Monday through Friday. Additionally, classes during the evening peak hour period of 4:30 and 6:15 p.m. Monday through Friday shall have no more than nine children total in accordance with the operational schedule reviewed and approved by City staff.

- B. A maximum of five instructors/staff and 21 students shall be permitted to occupy the subject tenant space at any one time, not to exceed a total occupancy of 26 persons within the establishment.

Condition 6.20

BUILDING OCCUPANCY

The applicant shall ensure the building is not used or occupied, in whole or in part, without a valid Certificate of Occupancy (CofO), as required by Section 111 of the California Building Code.

Condition 6.21

BUSINESS LICENSE

The applicant shall obtain an approved City of Irvine business license before initiating any business operations in accordance with the Irvine Municipal Code.

The submitted letter of justification, floor plan, operational schedule, and parking summary are integral components of this approval. This approval is contingent upon the applicant obtaining a valid business license and securing all applicable permits prior to commencing business operations, including, but not limited to, building, electrical, and any other permits required by the City of Irvine. Any modification to the approved floor plan, or any change to the operational characteristics of the business that creates an inconsistency with the information provided in this correspondence, results in an intensification of use, or introduces new impacts not previously evaluated, shall render this administrative use permit approval null and void and shall require resubmittal for further review and approval.

Condition 6.22

NON-TRANSFERABILITY AND EXPIRATION

Approval of this administrative use permit is specific to the business operation and operator described in the application materials reviewed and approved by the City. This administrative use permit does not run with the land and is not transferable to a different operator, owner, or business entity. Pursuant to Chapter 2-33, *Administrative Use Permit*, and Chapter 2-10, *Enforcement and Revocation Procedures*, of the Irvine Zoning Ordinance, this administrative use permit shall automatically expire upon closure or cessation of the approved business operations at the subject site. Any subsequent operator proposing to conduct a similar use at the subject location shall be required to apply for and obtain a new administrative use permit, subject to independent review and approval in accordance with the procedures set forth in Chapter 2-33, *Administrative Use Permit*, of the Irvine Zoning Ordinance.

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Condition 6.24

COMPLIANCE WITH PRIOR APPROVALS

All applicable conditions of approval associated with original Master Plan 86-MP-0021 issued for Crossroads Shopping Center as well as any subsequent modifications shall remain in full force and effect.

Unless an appeal is filed prior to the expiration of the five-day appeal period ending at 5 p.m. Wednesday, November 12, 2025, the approval granted by this letter shall become effective Thursday, November 13, 2025.

Please note that any permits cannot be issued until all fees associated with this application are paid in full. Should you have any questions regarding this approval, please contact Assistant Planner Adam Wong at 949-724-5491 or via email adwong@cityofirvine.org.

Sincerely,



Stephanie Frady, AICP
Director of Community Development

Enclosures:

1. Project Plans
2. Project Letter of Justification
3. Notice of Exemption

ec: Alyssa Matheus, Planning Manager
Ann Wu, Principal Planner
File: 00958407-PAUP

3 Sep 2025

Kid Virtuoso Irvine LLC
Attn: Sundeep Narravula
18380 Clemson Ave
Sa, CA 95070

To
City of Irvine
Community Development Department

Letter of Justification for a proposed "The Little Gym" project.

Address: 3992 Barranca Parkway Suite D
Irvine, CA 92606
Area: 2,830 SF

I am writing this letter of justification to explain the importance of the proposed project "The Little Gym" would have on the community, the operation information and the zoning restrictions that will need an Administrative Use Permit for the project, as specified by Irving Zoning Ordinance (IZO) Chapter 2-33.

The proposed project "**The Little Gym**", introduces children between the ages of 4 months and 12 years to physical activity featuring a gymnastics-based non-competitive curriculum. Our program allows children to progress at their own pace, developing their confidence as they develop their skills. Children are encouraged to try their best, not be the best. This philosophy has served The Little Gym and its members well. After decades of research and hands-on experience, we now set the standard for high-quality children's development programs.

No one tops The Little Gym at developing age-appropriate classes—it's why The Little Gym is the top choice among kids' gym franchises. The Little Gym is passionate about celebrating childhood and are proud to work with renowned partners and brands that share our core values and beliefs. Our proprietary, detailed lesson plans allow you and your team to easily deliver exceptional programs in your community.

Our programs include:

- Parent/Child—Suitable for children between four months and 2 years old, these classes promote early development and lay a foundation for a child's critical first few years.
- Pre-K/Kindergarten Gymnastics—The preschool gymnastics program helps children ages 3 to 6 channel their boundless energy and reach developmental milestones in a fun, structured environment.
- Grade School Gymnastics—Kids tackle new challenges at their own skill level in a fun, supportive environment in this grade school gymnastics program.
- Dance—Children ages 2 to 12 years can harness their toe-tapping energy in Ballet, Tap, or Hip-Hop classes.
- Enrichment: The Wonderkids Club - For ages 3 to 5 years, our enrichment programs provide children with a positive learning environment that balances age-appropriate physical activities with cognitive development to prepare kids for success in school.

Other Program Opportunities:

- Parents' Survival Nights
- Summer and seasonal camps
- Special Instruction-led classes for events like Birthday Parties, special occasions, holidays etc.

All of these Other Programs are booked for a group but are the same instruction led classes with music, dance and gym activities. Our special programs are designed to be guided by our **trained instructors**, who lead children through a variety of engaging physical activities, music, and games. The classes involve our coaches guiding children in activities that help them stretch their bodies, imagination, and social skills.

ENCLOSURE 1

BENEFITS TO THE COMMUNITY

In a world where childhood development is paramount, finding the perfect blend of fun and physical development can be a challenge. That's where The Little Gym steps in, offering a winning combination that's transforming the lives of children everywhere. At the heart of this transformation is a dedication to nurturing young minds through movement, play, and carefully curated proprietary curriculum.

The Power of Play

Play is the language of childhood, and The Little Gym understands that better than anyone. Through a wide range of engaging activities, children are encouraged to explore and interact with their environment. From crawling infants to energetic preschoolers, every child can find a place to grow and thrive within one of The Little Gym's various programs.

Confidence in Movement

One of the cornerstones of The Little Gym's philosophy is building confidence through movement. Whether it's mastering a forward roll or conquering the balance beam, children are able to push their boundaries in a supportive and nurturing environment that makes sense for them. We believe that kids don't have to be the best, they just have to try their best! This not only helps them develop physical skills but also boosts their self-esteem.

Cognitive and Social Skills

The Little Gym programs are carefully designed to enhance cognitive and social skills. For example, as children participate in group activities, they learn valuable lessons in teamwork, cooperation, and communication. These skills are essential not only for future academic success but also for building strong, healthy relationships.

Structured Learning

Structured learning is another key component of The Little Gym's success in childhood development. Each class is designed to introduce age-appropriate concepts and skills in a playful manner. This creates an optimal learning environment where children are motivated and excited to absorb knowledge.

The Role of The Little Gym

Central to The Little Gym's success in childhood development are its dedicated franchisees and employees. These passionate individuals play a crucial role in shaping young minds by delivering high-quality programs in their local communities. They are not just business owners; they are mentors, role models, and champions of childhood development.

The Little Gym's Commitment to Quality

The Little Gym is committed to maintaining the highest standards of quality in its programs. Each franchise owner undergoes extensive training to ensure that they can provide an exceptional learning environment for children. This commitment to excellence has made The Little Gym a trusted name in childhood development. Through the power of play, confidence-building activities, cognitive and social skill development, structured learning, and dedicated franchisees, The Little Gym is shaping young minds and preparing children for a bright future. It's a place where physical development and fun go hand in hand, creating a nurturing environment where every child can thrive.

OPERATIONS

The Little Gym's classes are divided into three age groups, with the majority age group kids individually attending the classes.

- **Parent/Child Classes (4 months - 2 years):** These 45-minute classes require a parent to be in the class with their child. These classes are typically attended by stay-at-home moms and are specifically designed to be hosted during non-peak hours to suit the requirements of moms, which also naturally help alleviate traffic.

- **Pre-K Classes (3 - 5 years):** These 60-minute classes are for children only. Parents can either watch the class or drop off their child at the main door, a practice that reduces the need for parking.
- **Grade School Classes (6 - 12 years):** These 60-minute classes are also independent. Most parents opt to drop off and pick up their child at the main door, which significantly alleviates on-site traffic and parking demand.

Efficient Use of Space:

The facility is designed to minimize traffic and congestion. It consists of three main areas: the gym, a multi-purpose viewing area, and a lobby. The multi-purpose and lobby areas are designed as extensions of each other, providing ample space for check-ins, meetings. The multi-purpose room is sometimes used for staff training, class planning and sales/feedback sessions with parents.. The layout encourages a smooth flow of parents and children, accommodating both those who stay and those who simply drop off.

Below is our optimized schedule:

	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday (Standard)	Sunday - Starting Schedule
8:30am					Closed		
8:45am					-	Birds (10mo - 19mo)	Classes are added as soon as there is demand
9:00am					-		
9:15am							
9:30am	Beasts/SB (19mo - 2.5yr)	Birds (10mo - 19mo)	Beasts (19mo - 2.5yr)	Beasts / Super Beasts (19mo - 3yr)	Friday classes are added as soon as there is a demand.	Beasts / Super Beasts (19mo - 3yr)	
9:45am							
10:00am							
10:15am						Funny Bugs 3 years (50 minutes)	
10:30am	Birds (10mo - 19mo)	Beasts / Super Beasts (19mo - 3yr)	Birds (10mo - 19mo)	Funny Bugs 3 years (50 minutes)			
10:45am							
11:00am						Giggle Worms / Good Friends (4yr - 6yr)	
11:15am	Sporty Beasts (2 yr - 3yr)	Funny Bugs/Giggle Worm 3 - 5 years					
11:30am			Bugs (4 mo - 10 mo)	Birds (10mo - 19mo)			
11:45am							
12:00pm	Mid Day Cleaning			Mid Day Cleaning		Flips/HS/Twister (6yr - 12yr)	
12:15pm		Mid Day Cleaning			Mid Day Cleaning		Mid Day Cleaning
12:30pm			Funny Bugs/Giggle Worm 3 - 5 years				
12:45pm							
1:00pm						Mid Day Cleaning	
1:15pm			Mid Day Cleaning				
1:30pm							Special Instruction-led classes
1:45pm							
2:00pm						Special Instruction-led classes	
2:15pm							
2:30pm							
2:45pm							
3:00pm	Parent/Child Practice Time	Parent/Child Practice Time					
3:15pm							
3:30pm	Pre-K Practice Time	Giggle Worms / Good Friends (4yr - 6yr)	Birds (10mo - 19mo)	Giggle Worms / Good Friends (4yr - 6yr)	Friday classes during this time slot are added when there is a demand.		Special Instruction-led classes
3:45pm							
4:00pm						Special Instruction-led classes	
4:15pm							
4:30pm							
4:45 PM	Giggle Worms / Good Friends	Grade School Practice Time	Flips/HS/Twister (6yr - 12yr)	Funny Bugs 3 years	Friday classes during this time slot are added when there is a demand.		
5:00pm							
5:15pm							
5:30pm							Special Instruction-led classes
5:45pm						Special Instruction-led classes	
6:00pm							
6:20pm	Flips/HS/Twister (6yr - 12yr)	Beasts / Super Beasts (19mo - 3yr)	Funny Bugs/Giggle Worm 3 - 5 years	Flips/HS/Twister (6yr - 12yr)	Friday classes during this time slot are added when there is a demand.		
6:30pm							
6:45pm							
7:00pm		End Day Cleaning					
7:20pm	End Day Cleaning		End Day Cleaning	End Day Cleaning			
7:30pm							
7:45pm							
8:00pm							

Notes:

- 1) All 3:30 PM classes end by 4:30 PM
- 2) Classes during 4:30 - 6:15PM time slots will have a maximum of 9 kids.
- 3) Last Class of the day start at 6:20 PM
- 4) Friday Time Blocks are added to show the time slots during which classes may be added.

STAFFING

The Little Gym of Irvine will have a staff of 3-4 full-time equivalent (FTE) employees in the gym at any given time. The total number of staff on the payroll will be scaled as enrollment increases. A typical gym averages around 450 kids, and not all employees will be on-site simultaneously.

The staffing structure will include the following roles:

- **Gym Director:** This is a full-time, career-level position responsible for the entire operation and overall performance of The Little Gym location. The Gym Director reports directly to the owners. Their duties include teaching classes, managing day-to-day operations, leading staff in providing customer service, and hiring and training staff.
- **Program Director:** This role is responsible for overseeing all programs to ensure they meet the high standards of The Little Gym International. The Program Director also oversees the training and evaluation of fellow team members. Both the Gym Director and Program Director are expected to spend 50% of their time teaching classes.
- **Instructors (Lead and Assistant):** Instructors work together to teach classes using The Little Gym's proprietary "Three-Dimensional Learning" philosophy. This method uses physical activity to foster growth in three areas: "Get Moving," "Brain Boost," and "Citizen Kid." A background in child development, physical education, and/or gymnastics is a plus for these positions. One instructor will be in charge of a 6-18 children per class with a lower instructor to student ratio for older kids.

FTE Chart (Full-Time Equivalency)		
Enrollment	Total FTEs	Total Team Hours (Weekly Maximum)
100-150	3	120 Hours
150-200	3.5	140 Hours
200-300	4	160 Hours
300-350	4.25	170 Hours
350-400	4.5	180 Hours
400-500	4.75	190 Hours
500-550	5	200 Hours
550-600	5.5	220 Hours
600-650	6	240 Hours
650-700	6.5	260 Hours
700-750	7	280 Hours

ZONING

The proposed project will be located in the Crossroads Mall Center, within the Community Commercial Zone (4.2B), with a Commercial School Use. The project area (2,830 SF) exceeds the permitted area for this use (1,500 SF) and requires an Administrative Use Permit.

The proposed project will be located in an existing inline retail space and it counts with the adequate traffic circulation, off-street parking, and pedestrian facilities. None of these will be modified during the works and/or operation of the proposed project.

The proposed project will not impact the character and integrity of the zoning district and surrounding area, in fact, it is expected to enhance it. The proposed use is in harmony with applicable City policies and the intent and purpose of the zoning district involved.

The proposed project will not be detrimental to the public health, safety, or welfare, or be materially injurious to properties or improvements in the vicinity.

There were questions about whether the birthday parties could define the usage of this space as recreation instead of a commercial school. All the classes in the facility have a fixed curriculum and there is preparation by the instructors prior to the class based on the unique schedule set-up by Little Gym for each and every age group.

The detailed schedule and student-to-teacher ratio solidifies the case for classifying The Little Gym's birthday parties under the commercial school category. The party's highly structured, instructional nature makes it fundamentally different from a purely recreational event.

A Curricular, Not Recreational, Experience

The provided schedule below reveals that the birthday party is a meticulously planned program with an educational focus with a wrap-up of a small cake-cutting celebration towards the end.. The timeline includes specific, progressive elements such as an **"Opening Circle," "Warm-Up," "Obstacle Course," and "Group Activity or Game."** These are not random play sessions; they are structured, teacher-led activities that mirror a class curriculum. This deliberate design, with a focus on teaching skills and physical development, directly aligns with the definition of a school.

Professional, Teacher-Led Instruction

The **10:1 student-to-teacher ratio** is a key piece of evidence. This low ratio is a hallmark of an instructional or educational setting, not a public recreational facility. It indicates a high level of direct supervision and personalized guidance from a professional instructor. The primary service being offered is the skilled instruction and a structured program, not just the use of the equipment or space. This is a core distinction between a commercial school and a commercial recreation facility, where the focus is typically on passive use of equipment rather than active teaching.

Ancillary Service to Primary Use

Ultimately, the birthday party is an extension of The Little Gym's primary function as an educational institution. The party's structure and activities are a reflection of their regular classes, serving as a powerful demonstration of their instructional methods. The service is not a standalone recreational offering but rather an integrated component of their educational business model, showcasing the quality of their teaching and curriculum to prospective clients. Therefore, for permitting and classification purposes, the entire business, including its birthday parties, should be evaluated based on its overarching purpose: providing instruction.

Below is the carefully planned curriculum of a sample special instruction-led class for a typical Birthday party:

How long is the entire birthday party experience?	Gym Elements	Timing
90 minutes	Supervised Free Play	8 min.
<u>Activities in the Gym</u>	Opening Circle	5 min.
60 minutes	Warm-Up	5 min.
<u>Activities in the MPR</u>	<u>Group Activity or Game*</u>	<u>5 min.</u>
30 minutes	<u>Obstacle Course*</u>	<u>8-10 min.</u>
What is the student/teacher ratio?	<u>Group Activity or Game*</u>	<u>5 min.</u>
10:1	<u>Obstacle Course*</u>	<u>8-10 min.</u>
	AirMat	10 min.
	Optional Activities	2-3 min.
	Birthday Train*	2 min

The Little Gym's Awesome Birthday class includes:

- ✓ 1 hour private gym time with instructor-led games & activities
- ✓ 20 min time in the multi-purpose room for cutting cake, distributing gifts, and birthday song
- ✓ 10 min for wrapping up and farewell
- ✓ Entire facility just for the group
- ✓ Set-up & clean-up done by The Little Gym

PARKING

1. City of Irvine Parking Requirements

The City of Irvine municipal code requires commercial schools to provide parking at a ratio of **1 space per instructor and employee plus 1 space per 3 students**.

- **Average Parking Needs:** Based on an average class size of 10-12 students and 3-4 employees, the expected parking requirement is **8 spaces**. This calculation does not account for an usual 85% attendance rate and families with multiple children, so the actual requirements are expected to be lower.
- **Maximum Parking Needs:** During peak times, with 5 employees and up to 21 students, the maximum requirement is **12 spaces**.

2. Allocated and Available Parking

The commercial property at 3992 Barranca Pkwy is part of a larger shared parking system.

- **Shared Parking Allotment:** The Little Gym and the adjacent FedEx Office share a total of **36 parking spaces** dedicated to their building, with a parking ratio of **1 space per 222 square feet**

- **Total Shopping Center Spaces:** The entire shopping center has an additional **131 parking spaces** above the requirements.

3. Supporting Evidence for Parking Sufficiency

The shared parking arrangement is considered more than sufficient for the following reasons:

- **Complementary Business Hours:** The Little Gym's peak hours do not conflict with those of its neighbors. **FedEx Office** with pickup hours ending at 5PM and the **Citibank** branch that closes by 5:00 PM, which **alleviates parking demand** during the shopping Center's peak evening hours.
- **Predictable and Stable Demand:** Parking demand for The Little Gym is transitory and "dissipates almost instantly" after each class ends. This is a key difference from businesses with all-day traffic.
- **Employee Parking Policy:** The landlord and The Little Gym have implemented a policy requiring employees to park in a designated area away from the main business entrances, leaving the most convenient spaces available for customers.
- **Timing of Peak Demand:** The Little Gym's maximum parking requirement is expected to occur in the late mornings or early afternoons. These times typically do not coincide with the overall peak traffic hours of the shopping center. The Little Gym will also limit the class strength for the evening classes during weekdays to 9 kids by scheduling classes that are designed to accommodate fewer kids. This will further alleviate traffic and parking during peak evening hours.
- **Local Comparison:** A nearby The Little Gym location in La Cañada successfully shares **31 parking spaces** with four other businesses, providing a proven example of a functional shared parking model.
- **Low Vehicle Occupancy and Class Attendance:** The average class size is 10-12 children, and attendance is typically around 85% due to vacations or other conflicts. This means the number of cars arriving for a class is consistently lower than the requirements for maximum enrollment. Furthermore, some parents bring multiple children to the same class, further reducing the total number of vehicles.

4. Conclusion

Final Confirmed Parking Summary: 3992 Barranca Pkwy Building

This summary calculates the required parking without rounding and uses the precise number of available parking spaces for the shared building (35.82 spaces, derived from the total 7,953 SF at the 1/222 ratio).

Tenant Suite	Square Footage (SF) / Occupancy	Use Classification	Parking Rate Formula	Required Parking Spaces
Fed-Ex Office	5,153 SF	Normal Retail(SF/222)	5,153/222	23.21
The Little Gym (TLG)	2,800 SF	Commercial School (1/staff+1/3 students)	5+(21/3)	12

Total Required Parking	-	-	-	35.21
Total Dedicated Available Parking	-	-	-	35.82
Parking Surplus (Deficit)	-	-	-	+0.61

Request for Off-Peak Parking Accommodation and Administrative Use Permit (AUP) Approval

The site's parking allocation fully covers the normal, highest-occupancy operations of The Little Gym (TLG) and Fed-Ex Office, resulting in a **surplus of 0.61 spaces** on the dedicated lot. Therefore, **no additional parking is technically required for the normal operation of the commercial school use** as defined by the municipal code.

If TLG were to host a special event with the former proposed highest occupancy of 30 students (requiring 15 spaces), the maximum parking needed beyond the current 12-space allowance would be 3 spaces. After accounting for the existing on-site surplus, this need is only **2.39 additional spaces**. The need for these few additional spots is both **infrequent** and **sporadic**, as the majority of special events have less than 21 children.

This minimal, sporadic increase in demand is strategically managed to occur only on **weekends** or on **weekdays after 6:20 PM**. These are times when the parking demand from adjacent tenants, including **Fed-Ex Office** (with pick-up hours ending at 5:00 PM) and the **Citibank** branch (which closes by 5:00 PM), is entirely absent.

We respectfully assert that the approval of the Administrative Use Permit (AUP) should be based on the compliance of the primary, ongoing use (35.21 required spaces) and not be negatively impacted by this minimal, occasional off-peak demand for specialized events. **Should the need for these 2.39 additional temporary spaces impact the AUP approval, we are prepared to formally limit all special events, including birthday parties, to a maximum of 21 children.** This restriction ensures that parking requirements for every single class or event remain fully compliant with the 12-space maximum, which is already accounted for in this summary. The ample **shopping center parking surplus of 131 spaces** is merely an available resource for operational flexibility.

Exhibit: Crossroads Parking requirements as shared by the Landlord

Docusign Envelope ID: C943302A-1652-421E-B28C-7650B90DCDAB

CROSSROADS							
Parking and Entitlement Summary - July 2025							
ADDRESS	BUILDING REFERENCE	EXISTING BUILDING GSF	PROPOSED BUILDING GSF	EXCLUSIVE OUTDOOR PATIO GSF (1)	PARKING SUMMARY		
					REQUIRED PARKING RATIO	EXISTING PARKING REQUIRED	PROPOSED PARKING REQUIRED
ANCHORS							
3750 BARRANCA PKWY	1	113,783	113,783		1/222	512.54	512.54
3960 BARRANCA PKWY	2	50,000	50,000		1/150	333.33	333.33
RETAIL SHOPS							
3800 BARRANCA PKWY	A	28,720	28,720		1/222	129.37	129.37
3850 BARRANCA PKWY	B	27,248	27,248			122.74	122.74
3850 O				533		2.40	2.40
3972 BARRANCA PKWY			22,549	22,549			101.57
3972 A(2)	C			480		2.16	2.16
3972 N				1,270		5.72	5.72
3720 BARRANCA PKWY	I	1,170	1,170			5.27	5.27
3730 BARRANCA PKWY	H	4,683	4,683			21.09	21.09
3966 BARRANCA PKWY	G	10,140	10,140			45.68	45.68
3966 A				1,500		6.76	6.76
3966 B				1,000		4.50	4.50
3978 BARRANCA PKWY	D	5,861	5,861			26.40	26.40
3988 BARRANCA PKWY	E	7,901	7,901			35.59	35.59
3988 A				660		2.97	2.97
3988 B				400		1.80	1.80
3992 BARRANCA PKWY	F	7,953	7,953			35.82	35.82
3996 BARRANCA PKWY	J	8,750	8,750			39.41	39.41
TOTALS		288,758	288,758	5,843		1,436	1,436
UNBUILT BUILDING INTENSITY							
PARKING PROVIDED						1,567	1,567
PARKING SURPLUS/(DEFICIT)						131	131

(1) The outdoor seating area is used for calculating the required parking only and is not included in the building intensity for The Crossroads.

Signed by:  7/23/2025
Chase Gilmore
 Vice President, Development
 Irvine Company Retail Properties

Sincerely,



Venkata Chintala (Manager, Kid Virtuoso Irvine LLC)

PROJECT LOCATION

The map illustrates the project location within the City of Irvine. Key features include:

- Highways:** Santa Ana Freeway (SR 5) and Orange Freeway (SR 405).
- Local Streets:** Main Street, Red Hill, Harbor Blvd, Campus Drive, and others.
- Project Area:** A shaded region near the intersection of SR 5 and SR 405.
- Geographic Labels:** City of Irvine, Orange Transportation Corridor, and various landmarks like the Irvine Spectrum Center.

A map of San Diego, California, showing the location of 'THE LITTLE GY'. The map is oriented with North at the top. Major roads are shown in grey, including BARRANCA PKWY running diagonally from the top left to the bottom right, and CULVER DRIVE running diagonally from the top right to the bottom left. SAN DIEGO CREEK is shown as a blue line running horizontally across the middle of the map. A blue square marks the location of 'THE LITTLE GY' at the intersection of BARRANCA PKWY and CULVER DRIVE. A black arrow points from the text 'THE LITTLE GY' at the bottom of the page to this blue square. Various points of interest are marked with orange icons and labels, including 'Coca-Cola Bottling Co.', 'Lafayette Motorcycles', 'Pine Baroque', 'Indian Village Café', 'LA Fitness', 'Kathy's Office Paper & Supplies', 'California Real Estate', 'Mama's Café', 'Carmichael Plaza', 'Continental Food Processing Center', 'Joseph Dental Group', 'Frank Tree & Stone', and 'Aloha'. The map also shows several numbered locations (1-10) and a 'City' label near the creek.

PROJECT LOCATION: 3992 BARRANCA PARKWAY SUITE D, IRVINE CA 92601

USE/OCCUPANCY/FLOOR AREA: COMMERCIAL RECREATION

BASED ON 2022 CBC TABLE 1004.5 MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT				
ROOM NAME	OCCUPANCY TYPE	AREA	OCCUPANCY FACTOR	OCCUPANCY LOAD
UNISEX ACCESSIBLE RESTROOM	ACCESSORY	78.68 SF	0	
UNISEX ACCESSIBLE RESTROOM	ACCESSORY	91.84 SF	0	
UNISEX RESTROOM	ACCESSORY	55.82 SF	0	
VIEWING AREA	ASSEMBLY WITHOUT FIXED SEAT, CONCENTRATED	29.45 SF	6	6.00
MPR	ASSEMBLY WITHOUT FIXED SEAT, UNCONCENTRATED	301.68 SF	15	21.00
LOBBY	ASSEMBLY WITHOUT FIXED SEAT, UNCONCENTRATED	183.19 SF	15	20.00
GYM	EXERCISE ROOMS	1762.12 SF	60	36.00
JANITOR/STORAGE	STORAGE	74.71 SF	300	1.00
NON OCCUPIED AREA	N/A	2679.48 SF 149.75 SF		84.00
TOTAL AREA		2830.00 SF		

1 APPLICABLE CODES		JURISDICTION: CITY OF IRVINE	
BUILDING		2022 CALIFORNIA BUILDING CODE	
MECHANICAL		2022 CALIFORNIA MECHANICAL CODE	
PLUMBING		2022 CALIFORNIA PLUMBING CODE	
ELECTRICAL		2022 CALIFORNIA ELECTRICAL CODE	
FIRE		2022 CALIFORNIA FIRE CODE	
ENERGY CODE		2022 CALIFORNIA ENERGY CODE	
ACCESSIBILITY		2022 CALIFORNIA BUILDING CODE, TITLE 24 CHAPTER 11A	
GREEN CONSTRUCTION		2022 CALIFORNIA GREEN BUILDING STANDARDS CODE	
2 ZONING CLASSIFICATION:		COMMUNITY COMMERCIAL	
3 PROPOSED OCCUPANCY TYPE:		ASSEMBLY A-3, NON SEPARATED USE	
EXISTING OCCUPANCY TYPE:		B	
4 TYPE V.B. SPRINKLERED (EXISTING)		COMMERCIAL SCHOOL	
5 USE CLASSIFICATION:		ALLOWED: 24,000 SF PROPOSED TENANT SPACE: 2,830 SF (EXISTING, NO CHANGE) ENTIRE MULTITENANT BUILDING: 16,962 SF (EXISTING, NO CHANGE).	
6 BUILDING AREA:			
7 BUILDING HEIGHT:		ALLOWED: 60'-0", TWO STORIES PROPOSED: 22'-0", ONE STORY (EXISTING, NO CHANGE)	
8 SEISMIC CATEGORY:		II, DESIGN CATEGORY ASCE7-16	
9 SCOPE OF WORK:		TENANT IMPROVEMENT OF A FORMER WELLNES CENTER	
EGRESS CALCULATION	TOTAL OCCUPANTS: 84	MIN EGRESS WIDTH: 20" x 84 = 16'-8"	TOTAL EGRESS REQUIRED: 12'-5" WITH PROVIDED 72"
EXITS: TOTAL REQUIRED: 2	TOTAL PROVIDED: 2 EGRESS WIDTH PER EXIT: 36" CLEAR		
FIRE RESISTIVE REQUIREMENTS	EXTERIOR BEARING WALL	0 HOUR	
	ROOF CONSTRUCTION	0 HOUR	
	CEILING	0 HOUR	
SPRINKLER SYSTEM: <u> X </u> ENTIRE BUILDING (EXISTING)		<u> </u> IN LIEU OF ROOF RATING	
<u> </u> BASEMENT ONLY		<u> </u> NOT REQUIRED	
FIRE ALARM:			
MAX TRAVEL DISTANCE: 250' WITH SPRINKLER SYSTEM			
PLUMBING CALCULATIONS PER TABLE 422.1		PER TABLE 422.2	
OCCUPANTS: 84	MALE: 42		FEMALE: 42
	REQUIRED	PROVIDED	REQUIRED
WATER CLOSETS	1:100=1	2	2
LAVATORIES	1:200=1	1	1
URINALS	1	0*	N/A
DRINKING FOUNTAIN	REQUIRED 1:250=1		PROVIDED 1+1 ADA
SERVICE SINK	REQUIRED 1		PROVIDED 1
UNISEX PERMITTED	YES		
*MALE OCCUPANTS LESS THAN 50, SO THE REQUIRED URINAL SHALL BE PERMITTED TO BE OMITTED PER 2022 CPC, 422.1 NOTE 3.a			

FIRE RESISTANCE RATED ASSEMBLIES CONSTRUCTED OR ALTERED IN SCOPE OF WORK:
EXTERIOR WALLS: *EXISTING, NO CHANGE*
FIRE WALLS: *N/A*
FIRE BARRIERS: *N/A*
FIRE PARTITIONS: *EXISTING, NO CHANGE*
HORIZONTAL ASSEMBLIES: *NO*


CALIFORNIA BUILDING CODE	2022
CALIFORNIA ELECTRIC CODE	2022
CALIFORNIA MECHANICAL CODE	2022
CALIFORNIA PLUMBING CODE	2022
CALIFORNIA ENERGY EFFICIENCY CODE	2022
CALIFORNIA GREEN BUILDING STANDARDS CODE	2022

3. STOCKPILES OF EARTH AND OTHER CONSTRUCTION-RELATED MATERIALS SHALL BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND AND WATER FLOW.

THIS PROJECT IS A RETAIL ESTABLISHMENT THAT MAY BE SUBJECT TO THE CITY OF IRVINE SHOPPING CART CONTAINMENT OR RETRIEVAL PROVISIONS CONTAINED IN IRVINE MUNICIPAL CODE SECTIONS 4-11-701 THROUGH 4-11-709. IN SUCH CASE COMPLIANCE IS REQUIRED AT THE TIME OF OCCUPANCY. THEREFORE, SELECT THE APPROPRIATE NOTE FROM THE SELECTION BELOW AND INCLUDE ON THE GENERAL NOTE SHEET.

SEE SHEET G000 FOR SHEET INDEX.

ENCLOSURE 2

<div> <div>  </div> <div> <p>PLANS PREPARED BY:</p> <p>JAMES A. LASTOVICA</p> </div> </div>		<div> <div> <p>DEVELOPER:</p> <p>N/A</p> </div> <div> <p>DESIGNED:</p> <p>CHT</p> </div> </div>		<div> <div> <p>DRAWN:</p> <p>ABR</p> </div> <div> <p>CHECKED:</p> <p>CHT</p> </div> </div>		<div> <div> <p>DATE:</p> <p>05-19-2025</p> </div> <div> <p>SCALE:</p> <p>NOT TO SCALE</p> </div> </div>		<div> <div> <p>REPORT #</p> <p>DATE</p> </div> <div> <p>NO.</p> <p>DATE</p> </div> </div>		<div> <div> <p>REVISIONS</p> </div> </div>	
<div> <div> <p>PLAN CHECK:</p> </div> </div>		<div> <div> <p>PERMIT:</p> </div> </div>		<div> <div> <p>ARCHITECT:</p> </div> </div>		<div> <div> <p>LICENSE NO.</p> <p>EXP. DATE</p> </div> </div>		<div> <div> <p>06/10/2026</p> </div> </div>		<div> <div> <p>06/10/2026</p> </div> </div>	
<div> <div> <p>SHEET T1</p> <p>OF 1</p> </div> </div>											

10/3/2025 2:32:45 PM

PROJECT DESCRIPTION

THE SCOPE OF WORK INCLUDES THE FINISH OUT OF AN EXISTING 2,830 SF IN-LINE SPACE. THERE WILL BE DEMOLITION OF WALLS, FLOOR AND CEILING. NEW WORK INCLUDES BUILDING OF WALLS AND FINISHES TO ACCOMMODATE THE OPERATION OF THE LITTLE GYM. PLUMBING, MECHANICAL AND ELECTRICAL WORK WILL BE PERFORMED. NO EXTERIOR OR STRUCTURAL WORK TO BE CONDUCTED

DEFERRED PERMIT SUBMITTALS:

- SIGNAGE UNDER SEPARATE PERMIT APPLICATION
- FIRE ALARM DRAWINGS UNDER SEPARATE COVER
- FIRE SPRINKLER SYSTEM MODIFICATION UNDER SEPARATE COVER

PROJECT DIRECTORY

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ABBREVIATIONS

AFF	ABOVE FINISH FLOOR	FC	FIRE EXTINGUISHER CABINET	OH	OVERHEAD
AP	ACCESS PANEL	FP	FIREPROOF, FIRE PROTECTION	OHCG	OVERHEAD COILING GRILLE
ACC	ACCESSIBLE	FLR	FLOOR	PT	PAIN
ACT	ACOUSTICAL TILE	FLOR	FLOOR DRAIN	PNL	PANEL
ADH	ADHESIVE	FLUR	FLUORESCENT	PBD	PARTICLE BOARD
ADJ	ADJUSTABLE, ADJACENT	FRG	FIBER REINFORCED GYPSUM	PTN	PARTITION
AHJ	AUTHORITY HAVING JURISDICTION	FRP	FIBER REINFORCED PLASTIC	PLAM	PLASTIC LAMINATE
AL	ALUMINUM	FRT	FIBER RETARDANT TREATED	PL	PLATE
APPD	APPROVED, APPROVAL	FDN	FOUNDATION	PLBG	PLUMBING
APPROX	APPROXIMATE	FURN	FURNISH	PLYWD	PLYWOOD
ARCH	ARCHITECTURAL	GA	GAUGE	QTY	QUANTITY
ACM	ASBESTOS CONTAINING MATERIAL	GC	GENERAL CONTRACTOR	QTY	QUARRY TILE
BM	BEAM	GL	GLASS, GLAZING	RAD	RADIUS
BTWN	BETWEEN	GB	GRAB BAR	REF	REFER TO
BLKG	BLOCKING	GWB	GYPSUM WALL BOARD	REQ	REQUIRED
BD	BOARD	HDW	HARDWARE	RES	RESILIENT
B.O.	BOTTOM OF	HDWD	HARDWOOD	REV	REVISION
BLDG	BUILDING	HT	HEIGHT	R	RISER
CPT	CARPET	HDF	HIGH DENSITY FIBERBOARD	RD	ROOF DRAIN
CLG	CEILING	HC	HOLLOW CORE	RM	ROOM
CL	CENTER LINE	HM	HOLLOW METAL	RO	ROUGH OPENING
CT	CERAMIC TILE	HB	HOSE BIB	RB	RUBBER BASE
CLR	CLEAR(ANCE)	HOR	HORIZONTAL	SCHED	SCHEDULE
COL	COLUMN	HR	HOUR	SECT	SECTION
CONC	CONCRETE	INCAN	INCANDESCENT	SHT	SHEET
CMU	CONCRETE MASONRY UNITS	ID	INSIDE DIAMETER	SIM	SIMILAR
CONST	CONSTRUCTION	INSUL	INSULATION	SIM OPP	SIMILAR, OPPOSITE HAND
CM	CONSTRUCTION MANAGER	INT	INTERIOR	SWB	SLOTTED WALL BOARD
CONT	CONTINUOUS	KES	KITCHEN EQUIPMENT SUPPLIER	SC	SOLID CORE
CJ	CORNER JOINT	KEC	KITCHEN EQUIPMENT CONSULTANT	SPEC(S)	SPECIFICATION(S)
CG	CORNER GUARD	LL	LANDLORD, LEASE LINE	SF	SQUARE FEET
CLFG	COUNTERFLASHING	LAV	LAVATORY	SS	STAINLESS STEEL
CTSK	COUNTER SINK	LIN	LINEAR	SSV	STAIN, SEAL & VARNISH
DEG	DEGREE	LF	LINEAR FEET	STD	STANDARD
DEMO	DEMOLITION	LTG	LIGHTING	STY	STEEL
DET	DETAIL	MAS	MASONRY	STRUCT	STRUCTURAL
DIA	DIAMETER	MATL	MATERIAL	SUSP	SUSPENDED
DIM	DIMENSION	MAX	MAXIMUM	TEMP	TEMPERED, TEMPERATURE,
DISP	DISPENSER	MECH	MECHANICAL		TEMPORARY
DWG	DRAWINGS	MDF	MEDIUM DENSITY FIBERBOARD	THK	THICKNESS
MET	METAL	MTL	METAL	T&G	TONGUE & GROOVE
DS	DOWNSPOUT	MEZZ	MEZZANINE	T.O.	TOP OF
EA	EACH	MFR	MANUFACTURER	T	TREAD
EIFS	EXTERIOR INSULATION AND FINISH SYSTEM	MIN	MINIMUM	TYP	TYPICAL
ELEC	ELECTRIC(IAL)	MISC	MISCELLANEOUS	UON	UNLESS OTHERWISE NOTED
EQ	EQUAL	MO	MASONRY OPENING	VB	VINYL BASE
EQUIP	EQUIPMENT	MTD	MOUNTED	VCT	VINYL COMPOSITION TILE
EWC	ELECTRIC WATER COOLER	MPR	MULTI-PURPOSE ROOM	VVC	VINYL WALL COVERING
EP	ELECTRICAL PANELBOARD	NOM	NOMINAL	VERT	VERTICAL
EXP	EXISTING	NIC	NOT IN CONTRACT	VIF	VERIFY IN FIELD
EXP	EXPANSION	NIS	NUMBER	VTR	VENT THROUGH ROOF
EJ	EXPANSION JOINT	NTS	NOT TO SCALE	WC	WATER CLOSET
EXT	EXTERIOR	O.C.	ON CENTER	WH	WATER HEATER
FIN	FINISH	OPG	OPENING	WP	WATERPROOF
FF	FINISHED FLOOR	OPP	OPPOSITE	W/	WITH
FE	FIRE EXTINGUISHER	OD	OUTSIDE DIAMETER	W/O	WITHOUT
		OFCI	OWNER FURNISHED/ CONTRACTOR INSTALLED	WD	WOOD
		OFOI	OWNER FURNISHED/ OWNER INSTALLED		

VICINITY MAP

THE LITTLE GYM

IRVINE

3992D BARRANCA PARKWAY
IRVINE, CA 92606

GENERAL NOTES

- ALL WORK SHALL COMPLY WITH ALL APPLICABLE LOCAL, STATE, AND NATIONAL CODES AND REGULATIONS. IF THERE ARE ANY QUESTIONS OR CONFLICTS CONCERNING COMPLIANCE WITH SUCH CODES, ORDINANCES OR STANDARDS, THE GC IS RESPONSIBLE FOR NOTIFYING THE ARCHITECT BEFORE PROCEEDING WITH THE WORK IN QUESTIONS.
- THE GC SHALL OBTAIN ALL NECESSARY PERMITS, LICENSES, AND CERTIFICATES AND PAY ALL FEES CONNECTED THEREWITH
- THE GC SHALL AT ALL TIMES KEEP THE PREMISES FREE FROM WASTE MATERIAL OR RUBBISH CAUSED BY THE WORK OR BY THE SUBCONTRACTOR'S PERSONNEL.
- GC SHALL VISIT THE SITE, REVIEW THE BUILDING SHELL DRAWINGS AS SUBMITTED BY THE AND BECOME THOROUGHLY FAMILIAR WITH THE SITE CONDITIONS PRIOR TO BIDDING OR CONSTRUCTION. INITIATION OF ANY OPERATIONS OF THE SCOPE OF WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS SHALL CONSTITUTE AN ACCEPTANCE OF THE EXISTING CONDITIONS.
- GC SHALL CONSULT WITH ARCHITECT TO RESOLVE ANY CHANGES, OMISSIONS OR PLAN DISCREPANCIES PRIOR TO BIDDING OR CONSTRUCTION.
- GC SHALL VERIFY THE LOCATION OF ALL UTILITIES.
- GC SHALL RETAIN ONE SET OF THE PLANS TO NOTE AND DOCUMENT ALL CHANGES DURING CONSTRUCTION.
- DO NOT DISASSEMBLE THIS SET OR DISTRIBUTE PARTIAL SETS TO SUBCONTRACTORS. COVER SHEET CONTAINS DATA PERTAINING TO ALL SHEETS.
- ALL ITEMS THAT ARE TO BE REMOVED SHALL BE COMPLETELY REMOVED FROM THE PROJECT SITE BY THE GC, AND SHALL BE PROPERLY DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES AND REGULATIONS
- ON COMPLETION OF THE PROJECT, THE GC SHALL CLEAN ALL SURFACES AND LEAVE THE WORK IN CLEAN CONDITION.
- DO NOT DAMAGE OR ALTER EXISTING CONDITIONS, UNLESS SPECIFICALLY INDICATED BY THESE CONSTRUCTION DOCUMENTS.
- GC IS TO CONVEY TO THE ARCHITECT ANY CONCEALED CONDITIONS REVEALED DURING DEMOLITION AN CONSTRUCTION WHICH CONFLICT WITH WORK TO BE EXECUTED PER THESE CONSTRUCTION DOCUMENTS.
- GC TO VERIFY ALL DIMENSIONS, INCLUDING CLEARANCES REQUIRED, AND EXISTING CONDITIONS. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH THE WORK.
- ALL DIMENSIONS ARE TO FACE OF FRAMING UNLESS NOTED OTHERWISE.
- ALL DIMENSIONS ARE TO THE FACE OF THE FINISHED SURFACE UNLESS NOTED OTHERWISE.
- ALL DIMENSIONS TO BE TAKEN FROM DESIGNATED DATUM POINT.
- ALL WORK NOTED "N.I.C." OR "NOT IN CONTRACT" IS TO BE ACCOMPLISHED BY OTHERS AND IS NOT TO BE PART OF THE CONSTRUCTION AGREEMENT.
- ALL MATERIALS FURNISHED UNDER THIS CONTRACT SHALL BE NEW UNLESS OTHERWISE NOTED. ALL WORK SHALL BE GUARANTEED AGAINST DEFECTIVE MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE (1) YEAR AFTER THE DATE OF SUBSTANTIAL COMPLETION OR ACCEPTANCE OF THE WORK. THE CONTRACTOR SHALL REPAIR OR REPLACE, AT HIS OWN EXPENSE WHEN ORDERED TO SO, ALL WORK THAT MAY DEVELOP DEFECTS IN MATERIAL AND WORKMANSHIP WITHIN SAID PERIOD OF TIME.
- GC SHALL COORDINATE ALL WORK DESCRIBED IN THESE CONSTRUCTION DOCUMENTS WITH THE BUILDING MANAGEMENT AND/OR BUILDING OWNER. NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN SHELL BUILDING AND TENANT BUILD-OUT SCOPES OF WORK.
- DO NOT SCALE DRAWINGS.

SYMBOL LEGEND

	INTERIOR ELEVATION		REVISION NOTE		NORTH ARROW
	EXTERIOR ELEVATION		WINDOW TAG		EQUIPMENT TAG
	PLAN NOTE		WALL TAG		CASEWORK TAG
	CENTERLINE		DOOR TAG		MATERIAL TAG
			LIGHTING FIXTURE TAG		ROOM ROOM INDICATOR
					FIRE EXTINGUISHER

HATCH REFERENCES

	PLASTER OR GYPSUM BOARD		STEEL / METAL
	CONCRETE		BRICK VENEER
	BATT / RIGID INSULATION		STONE VENEER
	DISCONTINUOUS WOOD BLOCKING		DIM TO FACE OF FINISH
	CONTINUOUS WOOD CONSTRUCTION		DIM TO CENTER OF FINISH
	EARTH		PLYWOOD
			GLASS

SHEET INDEX

SHEET	TITLE	ORIGINAL ISSUE	REVISION 01	REVISION 02	REVISION 03	REVISION 04	REVISION 05	REVISION 06	REVISION 07	REVISION 08	REVISION 09	REVISION 10
GENERAL												
G000	COVER SHEET		•	•	•	•						
G001	ACCESSIBILITY REQUIREMENTS		•	•								
G002	ACCESSIBILITY REQUIREMENTS		•	•								
G010	ARCHITECTURAL SPECIFICATIONS		•									
G011	ARCHITECTURAL SPECIFICATIONS		•									
G012	ARCHITECTURAL SPECIFICATIONS		•									
G100	LIFE SAFETY & ACCESSIBILITY PLAN		•	•	•	•						
G101	2022 CALIFORNIA GREEN BUILDING STANDARD CODE		•	•								
G102	2022 CALIFORNIA GREEN BUILDING STANDARD CODE		•	•								
G103	2022 CALIFORNIA GREEN BUILDING STANDARD CODE		•	•								
G104	LANDLORD CONTROL SHEET		•									
DEMOLISH												
AD111	ARCHITECTURAL DEMOLITION FLOOR PLAN		•	•								
AD112	ARCHITECTURAL DEMOLITION REFLECTED CEILING PLAN		•	•								
ARCHITECTURAL												
A100	SITE PLAN		•	•	•	•						
A101	SITE PLAN EXISTING CONDITIONS		•	•	•							
A102	ENTIRE SHOPPING CENTER LAYOUT- FOR REFERENCE ONLY		•	•	•							
A110	FLOOR PLAN		•	•	•							
A170	FINISH PLAN		•	•	•							
A180	MILLWORK DETAILS		•									
A181	MILLWORK DETAILS		•									
A190	REFLECTED CEILING PLAN		•	•	•							
A501	ENLARGED RESTROOM & DETAILS		•	•	•							
A601	DOORS & WINDOWS SCHEDULE		•	•	•							
A801	INTERIOR ELEVATIONS, SECTIONS AND DETAILS		•	•	•							
MECHANICAL												
M101	MECHANICAL PLAN & SCHEDULES		•	•	•							
MP001	MECHANICAL AND PLUMBING SPECIFICATIONS		•	•								
PLUMBING												
P101	PLUMBING SUPPLY PLAN		•	•	•							
P111	PLUMBING - WASTE AND VENT PLAN		•	•	•							
ELECTRICAL												
E001	ELECTRICAL - SYMBOLS, NOTES AND DETAILS		•	•								
E002	ELECTRICAL SPECIFICATIONS		•									
E003	ENERGY COMPLIANCE FORMS		•									
E101	ELECTRICAL LIGHTING PLAN		•	•								
E102	ELECTRICAL PHOTOMETRICS PLAN		•	•								
E111	ELECTRICAL POWER PLAN		•	•								
E200	ELECTRICAL - SCHEDULES		•									

CROSSROADS

Parking and Entitlement Summary - July 2025							
ADDRESS	BUILDING REFERENCE	EXISTING BUILDING GSF	PROPOSED BUILDING GSF	EXCLUSIVE OUTDOOR PATIO GSF (1)	PARKING SUMMARY		
					REQUIRED PARKING RATIO	EXISTING PARKING REQUIRED	PROPOSED PARKING REQUIRED
ANCHORS							
3750 BARRANCA PKWY	1	113,783	113,783		1/222	512.54	512.54
3960 BARRANCA PKWY	2	50,000	50,000		1/150	333.33	333.33
RETAIL SHOPS							
3800 BARRANCA PKWY	A	28,720	28,720			129.37	129.37
3850 BARRANCA PKWY	B	27,248	27,248			122.74	122.74
3850 O				533		2.40	2.40
3972 BARRANCA PKWY		22,549	22,549			101.57	101.57
3972 A(2)	C			480		2.16	2.16
3972 N				1,270		5.72	5.72
3720 BARRANCA PKWY	I	1,170	1,170			5.27	5.27
3730 BARRANCA PKWY	H	4,683	4,683			21.09	21.09
3966 BARRANCA PKWY		10,140	10,140		1/222	45.68	45.68
3966 A	G			1,500		6.76	6.76
3966 B				1,000		4.50	4.50
3978 BARRANCA PKWY	D	5,861	5,861			26.40	26.40
3988 BARRANCA PKWY		7,901	7,901			35.59	35.59
3988 A	E			660		2.97	2.97
3988 B				400		1.80	1.80
3992 BARRANCA PKWY	F	7,953	7,953			35.82	35.82
3996 BARRANCA PKWY	J	8,750	8,750			39.41	39.41
TOTALS		288,758	288,758	5,843		1,436	1,436
UNBUILT BUILDING INTENSITY							
PARKING PROVIDED						1,567	1,567
PARKING SURPLUS/(DEFICIT)						131	131

(1) The outdoor seating area is used for calculating the required parking only and is not included in the building intensity for The Crossroads.

Signed by:

7/23/2025

Chase Gilmore

VICE PRESIDENT, DEVELOPMENT

IRVINE COMPANY RETAIL PROPERTIES

ARCHITECT CERTIFICATION

I HEREBY CERTIFY THAT THE PORTION OF THIS TECHNICAL SUBMISSION DESCRIBED BELOW WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND RESPONSIBLE CHARGE. I AM A DULY REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF XXXX.

ARCHITECTURAL DRAWING SHEETS COVERED BY THIS SEAL:

A100	A181	AD112	G012
A101	A190	G000	G100
A102	A501	G001	G101
A110	A601	G002	G102
A170	A801	G010	G103
A180	AD111	G011	G104

CONSULTANT:

James A. Lastovica

Architect

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SUITE 5285
ROGERS, AR 72756

479-636-5004
JOB NO.:33806
DESIGNED BY: CHT

SEAL:

THE LITTLE GYM IRVINE

3992D BARRANCA PARKWAY
IRVINE, CA 92606

SHEET TITLE:

COVER SHEET

05/12/2025

REVISIONS:

No.	Description	Date
1	City Comments Rev.1	06/26/2025
2	City Comments Rev.2	07/29/2025
3	City Comments Rev.3	09/17/2025
4	City Comments Rev.4	10/03/2025

JOB No.:

33806

DRAWN BY:

ABR

G000

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2010 ADA Standards for Accessible Design/ 2022 California Building Code Chapter 11B

CHAPTER 3: BUILDING BLOCKS

301 General
301.1 Scope. The provisions of Chapter 3 shall apply where required by Chapter 2 or where referenced by a requirement in this document.

302 Floor or Ground Surfaces
302.1 General. Floor and ground surfaces shall be stable, firm, and slip resistant and shall comply with 302.
EXCEPTIONS: CRITERIA OMITTED. Not applicable to this project.

302.2 Carpet. Carpet or carpet tile shall be securely attached and shall have a firm cushion, pad, or backing or no cushion or pad. Carpet or carpet tile shall have a level loop, textured loop, level cut pile, or level cut/uncut pile texture. Pile height shall be 1/2 inch (13 mm) maximum. Exposed edges of carpet shall be fastened to floor surfaces and shall have trim on the entire length of the exposed edge. Carpet edge trim shall comply with 303.

302.3 Openings. Openings in floor or ground surfaces shall not allow passage of a sphere more than 1/2 inch (13 mm) diameter except as allowed in 407.4.3, 408.4.3, 410.4, 610.5.3 and 810.10. Elongated openings shall be placed so that the long dimension is perpendicular to the dominant direction of travel.

Figure 302.2 Carpet Pile Height

303 Changes in Level
303.1 General. Where changes in level are permitted in floor or ground surfaces, they shall comply with 303.
EXCEPTIONS: CRITERIA OMITTED. Not applicable to this project.

303.2 Vertical. Changes in level of 1/4 inch (6.4 mm) high maximum shall be permitted to be vertical.

Figure 303.2 Vertical Change in Level

303.3 Beveled. Changes in level between 1/4 inch (6.4 mm) high minimum and 1/2 inch (13 mm) high maximum shall be beveled with a slope not steeper than 1:2.

303.4 Ramps. Changes in level greater than 1/2 inch (13 mm) high shall be ramped, and shall comply with 405 or 406.

Figure 303.3 Beveled Change in Level

304 Turning Space
304.1 General. Turning space shall comply with 304.

304.2 Floor or Ground Surfaces. Floor or ground surfaces of a turning space shall comply with 302. Changes in level are not permitted.
EXCEPTION: Slopes not steeper than 1:48 shall be permitted.

304.3 Size. Turning space shall comply with 304.3.1 or 304.3.2.

304.3.1 Circular Space. The turning space shall be a space of 60 inches (1525 mm) diameter minimum. The space shall be permitted to include knee and toe clearance complying with 306.

304.3.2 T-Shaped Space. The turning space shall be a T-shaped space within a 60 inch (1525 mm) square minimum with arms and base 36 inches (915 mm) wide minimum. Each arm of the T shall be clear of obstructions 12 inches (305 mm) minimum in each direction and the base shall be clear of obstructions 24 inches (610 mm) minimum. The space shall be permitted to include knee and toe clearance complying with 306 only at the end of either the base or one arm.

304.4 Door Swings. Doors shall be permitted to swing into turning spaces.

305 Clear Floor or Ground Space
305.1 General. Clear floor or ground space shall comply with 305.

305.2 Floor or Ground Surfaces. Floor or ground surfaces of a clear floor or ground space shall comply with 302. Changes in level are not permitted.
EXCEPTION: Slopes not steeper than 1:48 shall be permitted.

305.3 Size. The clear floor or ground space shall be 30 inches (760 mm) minimum by 48 inches (1220 mm) minimum.

305.4 Knee and Toe Clearance. Unless otherwise specified, clear floor or ground space shall be permitted to include knee and toe clearance complying with 306.

305.5 Position. Unless otherwise specified, clear floor or ground space shall be positioned for either forward or parallel approach to an element.

305.6 Approach. One full unobstructed side of the clear floor or ground space shall adjoin an accessible route or adjoin another clear floor or ground space.

305.7 Maneuvering Clearance. Where a clear floor or ground space is located in an alcove or otherwise confined on all or part of three sides, additional maneuvering clearance shall be provided in accordance with 305.7.1 and 305.7.2.

305.7.1 Forward Approach. Alcoves shall be 36 inches (915 mm) wide minimum where the depth exceeds 24 inches (610 mm).

305.7.2 Parallel Approach. Alcoves shall be 60 inches (1525 mm) wide minimum where the depth exceeds 15 inches (380 mm).

306 Knee and Toe Clearance
306.1 General. Where space beneath an element is included as part of clear floor or ground space or turning space, the space shall comply with 306. Additional space shall not be prohibited beneath an element but shall not be considered as part of the clear floor or ground space or turning space.

306.2 Toe Clearance.
306.2.1 General. Space under an element between the finish floor or ground and 9 inches (230 mm) above the finish floor or ground shall be considered toe clearance and shall comply with 306.2.

306.2.2 Maximum Depth. Toe clearance shall extend 25 inches (635 mm) maximum under an element.

306.2.3 Minimum Required Depth. Where toe clearance is required at an element as part of a clear floor space, the toe clearance shall extend 17 inches (430 mm) minimum under the element.

306.2.4 Additional Clearance. Space extending greater than 6 inches (150 mm) beyond the available knee clearance at 9 inches (230 mm) above the finish floor or ground shall not be considered toe clearance.

306.2.5 Width. Toe clearance shall be 30 inches (760 mm) wide minimum.

306.3 Knee Clearance.
306.3.1 General. Space under an element between 9 inches (230 mm) and 27 inches (685 mm) above the finish floor or ground shall be considered knee clearance and shall comply with 306.3.

Figure 306.2 Toe Clearance

306.3.2 Maximum Depth. Knee clearance shall extend 25 inches (635 mm) maximum under an element at 9 inches (230 mm) above the finish floor or ground.

306.3.3 Minimum Required Depth. Where knee clearance is required under an element as part of a clear floor space, the knee clearance shall be 11 inches (280 mm) deep minimum at 9 inches (230 mm) above the finish floor or ground, and 8 inches (205 mm) deep minimum at 27 inches (685 mm) above the finish floor or ground.

306.3.4 Clearance Reduction. Between 9 inches (230 mm) and 27 inches (685 mm) above the finish floor or ground, the knee clearance shall be permitted to reduce at a rate of 1 inch (25 mm) in depth for each 6 inches (150 mm) in height.

306.3.5 Width. Knee clearance shall be 30 inches (760 mm) wide minimum.

307 Protruding Objects
307.1 General. Protruding objects shall comply with 307.

307.2 Protrusion Limits. Objects with leading edges more than 27 inches (685 mm) and not more than 80 inches (2030 mm) above the finish floor or ground shall protrude 4 inches (100 mm) maximum horizontally into the circulation path.
EXCEPTION: Handrails shall be permitted to protrude 4 1/2 inches (115 mm) maximum.

307.3 Post-Mounted Objects. Free-standing objects mounted on posts or pylons shall overhang circulation paths 12 inches (305 mm) maximum when located 27 inches (685 mm) minimum and 80 inches (2030 mm) minimum above the finish floor or ground. Where a sign or other obstruction is mounted between posts or pylons and the clear distance between the posts or pylons is greater than 12 inches (305 mm), the lowest edge of such sign or obstruction shall be 27 inches (685 mm) maximum or 80 inches (2030 mm) minimum above the finish floor or ground.
EXCEPTION: The sloping portions of handrails serving stairs and ramps shall not be required to comply with 307.3.

307.4 Vertical Clearance. Vertical clearance shall be 80 inches (2030 mm) high minimum. Guardrails or other barriers shall be provided where the vertical clearance is less than 80 inches (2030 mm) high. The leading edge of such guardrail or barrier shall be located 27 inches (685 mm) maximum above the finish floor or ground.
EXCEPTION: Door closers and door stops shall be permitted to be 78 inches (1980 mm) minimum above the finish floor or ground.

307.5 Required Clear Width. Protruding objects shall not reduce the clear width required for accessible routes.

308 Reach Ranges
308.1 General. Reach ranges shall comply with 308.

308.2 Forward Reach.

308.2.1 Unobstructed. Where a forward reach is unobstructed, the high forward reach shall be 48 inches (1220 mm) maximum and the low forward reach shall be 15 inches (380 mm) minimum above the finish floor or ground.

308.2.2 Obstructed High Forward Reach. Where a high forward reach is over an obstruction, the clear floor space shall extend beneath the element for a distance not less than the required depth over the obstruction. The high forward reach shall be 48 inches (1220 mm) maximum where the reach depth is 20 inches (510 mm) maximum. Where the reach depth exceeds 20 inches (510 mm), the high forward reach shall be 44 inches (1120 mm) maximum and the reach depth shall be 25 inches (635 mm) maximum.

308.3 Side Reach.
308.3.1 Unobstructed. Where a clear floor or ground space allows a parallel approach to an element and the side reach is unobstructed, the high side reach shall be 48 inches (1220 mm) maximum and the low side reach shall be 15 inches (380 mm) minimum above the finish floor or ground.
EXCEPTIONS: CRITERIA OMITTED. Not applicable to this project.

308.3.2 Obstructed High Side Reach. Where a clear floor or ground space allows a parallel approach to an element and the high side reach is over an obstruction, the height of the obstruction shall be 34 inches (865 mm) maximum and the depth of the obstruction shall be 24 inches (610 mm) maximum. The high side reach shall be 48 inches (1220 mm) maximum for a reach depth of 10 inches (255 mm) maximum. Where the reach depth exceeds 10 inches (255 mm), the high side reach shall be 46 inches (1170 mm) maximum for a reach depth of 24 inches (610 mm) maximum.
EXCEPTIONS: CRITERIA OMITTED. Not applicable to this project.

309 Operable Parts
309.1 General. Operable parts shall comply with 309.

309.2 Clear Floor Space. A clear floor or ground space complying with 305 shall be provided.

309.3 Height. Operable parts shall be placed within one or more of the reach ranges specified in 308.

309.4 Operation. Operable parts shall be operable with one hand and shall not require tight grasping, pinching, or twisting of the wrist. The force required to activate operable parts shall be 5 pounds (22.2 N) maximum.
EXCEPTION: CRITERIA OMITTED. Not applicable to this project.

CHAPTER 4: ACCESSIBLE ROUTES

401 General

401.1 Scope. The provisions of Chapter 4 shall apply where required by Chapter 2 or where referenced by a requirement in this document.

402 Accessible Routes
402.1 General. Accessible routes shall comply with 402.

402.2 Components. Accessible routes shall consist of one or more of the following components: walking surfaces with a running slope not steeper than 1:20, doorways, ramps, curb ramps excluding the flared sides, elevators, and platform lifts. All components of an accessible route shall comply with the applicable requirements of Chapter 4.

403 Walking Surfaces
403.1 General. Walking surfaces that are a part of an accessible route shall comply with 403.

403.2 Floor or Ground Surface. Floor or ground surfaces shall comply with 302.

403.3 Slope. The running slope of walking surfaces shall not be steeper than 1:20. The cross slope of walking surfaces shall not be steeper than 1:48.

403.4 Changes in Level. Changes in level shall comply with 303.

403.5 Clearances. Walking surfaces shall provide clearances complying with 403.5.
EXCEPTION: Within employee work areas, clearances on common use circulation paths shall be permitted to be decreased by work area equipment provided that the decrease is essential to the function of the work being performed.

403.5.1 Clear Width. Except as provided in 403.5.2 and 403.5.3, the clear width of walking surfaces shall be 36 inches (915 mm) minimum.
EXCEPTION: The clear width shall be permitted to be reduced to 32 inches (815 mm) minimum for a length of 24 inches (610 mm) maximum provided that reduced width segments are separated by segments that are 48 inches (1220 mm) long minimum and 36 inches (915 mm) wide minimum.

403.5.2 Clear Width at Turn. Where the accessible route makes a 180 degree turn around an element which is less than 48 inches (1220 mm) wide, clear width shall be 42 inches (1065 mm) minimum approaching the turn, 48 inches (1220 mm) minimum at the turn and 48 inches (1065 mm) minimum leaving the turn.
EXCEPTION: Where the clear width at the turn is 60 inches (1525 mm) minimum compliance with 403.5.2 shall not be required.

403.5.3 CRITERIA OMITTED. Not applicable to this project.

403.6 Handrails. Where handrails are provided along walking surfaces with running slopes not steeper than 1:20 they shall comply with 505.

404 Doors, Doorways, and Gates

404.1 General. Doors, doorways, and gates that are part of an accessible route shall comply with 404.
EXCEPTION: Doors, doorways, and gates designed to be operated only by security personnel shall not be required to comply with 404.2.7, 404.2.8, 404.2.9, 404.3.2 and 404.3.4 through 404.3.7.

404.2 Manual Doors, Doorways, and Manual Gates. Manual doors and doorways and manual gates intended for user passage shall comply with 404.2.

404.2.1 Revolving Doors, Gates, and Turnstiles. Revolving doors, revolving gates, and turnstiles shall not be part of an accessible route.

404.2.2 Double-Leaf Doors and Gates. At least one of the active leaves of doorways with two leaves shall comply with 404.2.3 and 404.2.4.

404.2.3 Clear Width. Door openings shall provide a clear width of 32 inches (815 mm) minimum. Clear openings of doorways with swinging doors shall be measured between the face of the door and the stop with the door open 90 degrees. Openings more than 24 inches (610 mm) deep shall provide a clear opening of 36 inches (915 mm) minimum. There shall be no projections into the required clear opening width lower than 34 inches (865 mm) above the finish floor or ground. Projections into the clear opening width between 34 inches (865 mm) and 80 inches (2030 mm) above the finish floor or ground shall not exceed 4 inches (100 mm).
EXCEPTIONS:
1. In alterations, a projection of 5/8 inch (16 mm) maximum into the required clear width shall be permitted for the latch side stop.
2. Door closers and door stops shall be permitted to be 78 inches (1980 mm) minimum above the finish floor or ground.

404.2.4 Maneuvering Clearances. Minimum maneuvering clearances at doors and gates shall comply with 404.2.4.1. Maneuvering clearances shall extend the full width of the doorway and the required latch side or hinge side clearance.
EXCEPTION: Entry doors to hospital patient rooms shall not be required to provide the clearance beyond the latch side of the door.

404.2.4.1 Swinging Doors and Gates. Swinging doors and gates shall have maneuvering clearances complying with Table 404.2.4.1. (as illustrated on Figures 404.2.4.1)

404.2.10 Door and Gate Surfaces. Swinging door and gate surfaces within 10 inches (255 mm) of the finish floor or ground measured vertically shall have a smooth surface on the push side extending the full width of the door or gate. Parts creating horizontal or vertical joints in these surfaces shall be within 1/16 inch (1.6 mm) of the same plane as the other. Cavities created by added kick plates shall be capped.
EXCEPTIONS:
1. Sliding doors shall not be required to comply with 404.2.10.
2. Tempered glass doors without stiles and having a bottom rail or shoe with the top leading edge tapered at 60 degrees minimum from the horizontal shall not be required to meet the 10 inch (255 mm) bottom smooth surface height requirement.
3. Doors and gates that do not extend to within 10 inches (255 mm) of the finish floor or ground shall not be required to comply with 404.2.10.
4. Existing doors and gates without smooth surfaces within 10 inches (255 mm) of the finish floor or ground shall not be required to provide smooth surfaces complying with 404.2.10 provided that if added kick plates are installed, cavities created by such kick plates are capped.

404.2.11 Vision Lights. Doors, gates, and side lights adjacent to doors or gates, containing one or more glazing panels that permit viewing through the panels shall have the bottom of at least one glazed panel located 43 inches (1090 mm) maximum above the finish floor.
EXCEPTION: Vision lights with the lowest part more than 66 inches (1675 mm) from the finish floor or ground shall not be required to comply with 404.2.11.

404.3 Automatic and Power-Assisted Doors and Gates. CRITERIA OMITTED. Not applicable to this project.

405 Ramps
405.1 General. Ramps on accessible routes shall comply with 405.
EXCEPTION: In assembly areas, aisle ramps adjacent to seating and not serving elements required to be on an accessible route shall not be required to comply with 405.

405.2 Slope. Ramp runs shall have a running slope not steeper than 1:12.
EXCEPTION: In existing sites, buildings, and facilities, ramps shall be permitted to have running slopes steeper than 1:12 complying with Table 405.2 where such slopes are necessary due to space limitations

Table 405.2 Maximum Ramp Slope and Rise for Existing Sites, Buildings, and Facilities	
Slope (A slope steeper than 1:8 is prohibited.)	Maximum Rise
Steeper than 1:10 but not steeper than 1:8	3 inches (75 mm)
Steeper than 1:12 but not steeper than 1:10	6 inches (150 mm)

405.3 Cross Slope. Cross slope of ramp runs shall not be steeper than 1:48.

405.4 Floor or Ground Surfaces. Floor or ground surfaces of ramp runs shall comply with 302. Changes in level other than the running slope and cross slope are not permitted on ramp runs.

405.5 Clear Width. The clear width of a ramp run and, where handrails are provided, the clear width between handrails shall be 36 inches (915 mm) minimum.
EXCEPTION: Within employee work areas, the required clear width of ramps that are a part of common use circulation paths shall be permitted to be decreased by work area equipment provided that the decrease is essential to the function of the work being performed.

405.6 Rise. The rise for any ramp run shall be 30 inches (760 mm) maximum.

404.2.4.2 Doorways without Doors or Gates, Sliding Doors, and Folding Doors. Doorways less than 36 inches (915 mm) wide without doors or gates, sliding doors, or folding doors shall have maneuvering clearances complying with Table 404.2.4.2. (as illustrated on Figure 404.2.4.2)

Figure 404.2.4.2 Maneuvering Clearances at Doorways without Doors, Sliding Doors, Gates, and Folding Doors

404.2.4.3 Recessed Doors and Gates. Maneuvering clearances for forward approach shall be provided when any obstruction within 18 inches (455 mm) of the latch side of a doorway projects more than 8 inches (205 mm) beyond the face of the door, measured perpendicular to the face of the door or gate.

Figure 404.2.4.3 Maneuvering Clearances at Recessed Doors and Gates

404.2.4.4 Floor or Ground Surface. Floor or ground surface within required maneuvering clearances shall comply with 302. Changes in level are not permitted.
EXCEPTIONS:
1. Slopes not steeper than 1:48 shall be permitted.
2. Changes in level at thresholds complying with 404.2.5 shall be permitted.

404.2.5 Thresholds. Thresholds, if provided at doorways, shall be 1/2 inch (13 mm) high maximum. Raised thresholds and changes in level at doorways shall comply with 302 and 303.
EXCEPTION: Existing or altered thresholds 3/4 inch (19 mm) high maximum that have a beveled edge on each side with a slope not steeper than 1:2 shall not be required to comply with 404.2.5.

404.2.6 Doors in Series and Gates in Series. The distance between two hinged or pivoted doors in series and gates in series shall be 48 inches (1220 mm) minimum plus the width of doors or gates swinging into the space.

Figure 404.2.6 Doors in Series and Gates in Series

404.2.7 Door and Gate Hardware. Handles, pulls, latches, locks, and other operable parts on doors and gates shall comply with 309.4. Operable parts of such hardware shall be 34 inches (865 mm) minimum and 48 inches (1220 mm) maximum above the finish floor or ground. Where sliding doors are in the fully open position, operating hardware shall be exposed and usable from both sides.

EXCEPTIONS:
1. Existing locks shall be permitted in any location at existing glazed doors without stiles, existing overhead rolling doors or grilles, and similar existing doors or grilles that are designed with locks that are activated only at the top or bottom rail.
2. Access gates in barrier walls and fences protecting pools, spas, and hot tubs shall be permitted to have operable parts of the release of latch on self-latching devices at 54 inches (1370 mm) maximum above the finish floor or ground provided the self-latching devices are not also self-locking devices and operated by means of a key, electronic opener, or integral combination lock.

404.2.8 Closing Speed. Door and gate closing speed shall comply with 404.2.8.

404.2.8.1 Door Closers and Gate Closers. Door closers and gate closers shall be adjusted so that from an open position of 90 degrees, the time required to move the door to a position of 12 degrees from the latch is 5 seconds minimum.

404.2.8.2 Spring Hinges. Door and gate spring hinges shall be adjusted so that from the open position of 70 degrees, the door or gate shall move to the closed position in 1.5 seconds minimum.

404.2.9 Door and Gate Opening Force. Fire doors shall have a minimum opening force allowable by the appropriate administrative authority. The force for pushing or pulling open a door or gate other than fire doors shall be as follows:

1. Interior hinged doors and gates: 5 pounds (22.2 N) maximum.
2. Sliding or folding doors: 5 pounds (22.2 N) maximum.
These forces do not apply to the force required to retract latch bolts or disengage other devices that hold the door or gate in a closed position.

404.2.10 Door and Gate Surfaces. Swinging door and gate surfaces within 10 inches (255 mm) of the finish floor or ground measured vertically shall have a smooth surface on the push side extending the full width of the door or gate. Parts creating horizontal or vertical joints in these surfaces shall be within 1/16 inch (1.6 mm) of the same plane as the other. Cavities created by added kick plates shall be capped.
EXCEPTIONS:
1. Sliding doors shall not be required to comply with 404.2.10.
2. Tempered glass doors without stiles and having a bottom rail or shoe with the top leading edge tapered at 60 degrees minimum from the horizontal shall not be required to meet the 10 inch (255 mm) bottom smooth surface height requirement.
3. Doors and gates that do not extend to within 10 inches (255 mm) of the finish floor or ground shall not be required to comply with 404.2.10.
4. Existing doors and gates without smooth surfaces within 10 inches (255 mm) of the finish floor or ground shall not be required to provide smooth surfaces complying with 404.2.10 provided that if added kick plates are installed, cavities created by such kick plates are capped.

404.2.11 Vision Lights. Doors, gates, and side lights adjacent to doors or gates, containing one or more glazing panels that permit viewing through the panels shall have the bottom of at least one glazed panel located 43 inches (1090 mm) maximum above the finish floor.
EXCEPTION: Vision lights with the lowest part more than 66 inches (1675 mm) from the finish floor or ground shall not be required to comply with 404.2.11.

404.3 Automatic and Power-Assisted Doors and Gates. CRITERIA OMITTED. Not applicable to this project.

405 Ramps
405.1 General. Ramps on accessible routes shall comply with 405.
EXCEPTION: In assembly areas, aisle ramps adjacent to seating and not serving elements required to be on an accessible route shall not be required to comply with 405.

405.2 Slope. Ramp runs shall have a running slope not steeper than 1:12.
EXCEPTION: In existing sites, buildings, and facilities, ramps shall be permitted to have running slopes steeper than 1:12 complying with Table 405.2 where such slopes are necessary due to space limitations

Table 405.2 Maximum Ramp Slope and Rise for Existing Sites, Buildings, and Facilities	
Slope (A slope steeper than 1:8 is prohibited.)	Maximum Rise
Steeper than 1:10 but not steeper than 1:8	3 inches (75 mm)
Steeper than 1:12 but not steeper than 1:10	6 inches (150 mm)

405.3 Cross Slope. Cross slope of ramp runs shall not be steeper than 1:48.

405.4 Floor or Ground Surfaces. Floor or ground surfaces of ramp runs shall comply with 302. Changes in level other than the running slope and cross slope are not permitted on ramp runs.

405.5 Clear Width. The clear width of a ramp run and, where handrails are provided, the clear width between handrails shall be 36 inches (915 mm) minimum.
EXCEPTION: Within employee work areas, the required clear width of ramps that are a part of common use circulation paths shall be permitted to be decreased by work area equipment provided that the decrease is essential to the function of the work being performed.

405.6 Rise. The rise for any ramp run shall be 30 inches (760 mm) maximum.

405.7 Landings. Ramps shall have landings at the top and the bottom of each ramp run. Landings shall comply with 405.7.

Figure 405.7 Landings

405.7.1 Slope. Landings shall comply with 302. Changes in level are not permitted.
EXCEPTION: Slopes not steeper than 1:48 shall be permitted.

405.7.2 Width. The landing clear width shall be at least as wide as the widest ramp run leading to the landing.

405.7.3 Length. The landing clear length shall be 60 inches (1525 mm) long minimum.

405.7.4 Change in Direction. Ramps that change direction between runs at landings shall have a clear landing 60 inches (1525 mm) minimum by 60 inches (1525 mm) minimum.

405.7.5 Doorways. Where doorways are located adjacent to a ramp landing, maneuvering clearances required by 404.2.4 and 404.3.2 shall be permitted to overlap the required landing area.

405.8 Handrails. Ramp runs with a rise greater than 6 inches (150 mm) shall have handrails complying with 505.
EXCEPTION: Within employee work areas, handrails shall not be required where ramps that are part of common use circulation paths are designed to permit the installation of handrails complying with 505. Ramps not subject to the exception to 405.5 shall be designed to maintain a 36 inch (915 mm) minimum clear width when handrails are installed.

405.9 Edge Protection. Edge protection complying with 405.9.1 and 405.9.2 shall be provided on each side of ramp runs and at each side of ramp landings.
EXCEPTION
1. Edge protection shall not be required on ramps that are not required to have handrails and have sides complying with 406.3.
2. Edge protection shall not be required on the sides of ramp landings serving an adjoining ramp run or stairway.
3. Edge protection shall not be required on the sides of ramp landings having a vertical drop-off of 1/2 inch (13 mm) maximum within 10 inches (255 mm) horizontally of the minimum landing area specified in 405.7.

405.9.1 Extended Floor or Ground Surface. The floor or ground surface of the ramp run or landing shall extend 12 inches (305 mm) minimum beyond the inside face of a handrail complying with 505.

405.9.2 Curb or Barrier. A curb or barrier shall be provided that prevents the passage of a 4 inch (100 mm) diameter sphere, where any portion of the sphere is within 4 inches (100 mm) of the finish floor or ground surface.

Figure 405.9.1 Extended Floor or Ground Surface Edge Protection

Figure 405.9.2 Curb or Barrier Edge Protection

405.10 Wet Conditions. Landings subject to wet conditions shall be designed to prevent the accumulation of water.

406 Curb Ramps

406.1 General. Curb ramps on accessible routes shall comply with 406, 405.2 through 405.5, and 405.10.

406.2 Counter Slope. Counter slopes of adjoining gutters and road surfaces immediately adjacent to the curb ramp shall not be steeper than 1:20. The adjacent surfaces at transitions at curb ramps to walks, gutters, and streets shall be at the same level.

406.3 Sides of Curb Ramps. Where provided, curb ramp flares shall not be steeper than 1:10.

406.4 Landings. Landings shall be provided at the tops of curb ramps. The landing clear length shall be 36 inches (915 mm) minimum. The landing clear width shall be at least as wide as the curb ramp, excluding flared sides, leading to the landing.
EXCEPTION: In alterations, where there is no landing at the top of curb ramps, curb ramp flares shall be provided and shall not be steeper than 1:12.

406.5 Location. Curb ramps and the flared sides of curb ramps shall be located so that they do not project into vehicular traffic lanes, parking spaces, or parking access aisles. Curb ramps at marked crossings shall be wholly contained within the markings, excluding any flared sides.

406.6 Diagonal Curb Ramps. Diagonal or corner type curb ramps with returned curbs or other well-defined edges shall have the edges parallel

to the direction of pedestrian flow. The bottom of diagonal curb ramps shall have a clear space 48 inches (1220 mm) minimum outside active traffic lanes of the roadway. Diagonal curb ramps, provided at marked crossings shall provide the 48 inches (1220 mm) minimum clear space within the markings. Diagonal curb ramps with flared sides shall have a segment of curb 24 inches (610 mm) long minimum located on each side of the curb ramp and within the marked crossing.

406.7 Islands. Raised islands in crossings shall be cut through level with the street or have curb ramps at both sides. Each curb ramp shall have a level area 48 inches (1220 mm) long minimum by 36 inches (915 mm) wide minimum at the top of the curb ramp in the part of the island intersected by the crossings. Each 48 inch (1220 mm) minimum by 36 inch (915 mm) minimum area shall be oriented so that the 48 inch (1220 mm) minimum length is in the direction of the running slope of the curb ramp it serves. The 48 inch (1220 mm) minimum by 36 inch (915 mm) minimum areas and the accessible route shall be permitted to overlap.

407 Elevators

CHAPTER 5: GENERAL SITE AND BUILDING ELEMENTS

01 General

01.1 Scope. The provisions of Chapter 5 shall apply where required by Chapter 2 or where referenced by a requirement in this document.

02 Parking Spaces

02.1 General. Car and van parking spaces shall comply with 502. Where parking spaces are marked with lines, width measurements of parking spaces and access aisles shall be made from the centerline of the markings.

EXCEPTION: Where parking spaces or access aisles are not adjacent to another parking space or access aisle, measurements shall be permitted to include the full width of the line defining the parking space or access aisle.

02.2 Vehicle Spaces. Car parking spaces shall be 96 inches (2440 mm) wide minimum and van parking spaces shall be 132 inches (3350 mm) wide minimum, shall be marked to define the width, and shall have an adjacent access aisle complying with 502.3.

EXCEPTION: Van parking spaces shall be permitted to be 96 inches (2440 mm) wide minimum where the access aisle is 96 inches (2440 mm) wide minimum.

02.3 Access Aisle. Access aisles serving parking spaces shall comply with 502.3. Access aisles shall join an accessible route. Two parking spaces shall be permitted to share a common access aisle.

02.3.1 Width. Access aisles serving car and van parking spaces shall be 60 inches (1525 mm) wide minimum.

02.3.2 Length. Access aisles shall extend the full length of the parking spaces they serve.

02.3.3 Marking. Access aisles shall be marked so as to discourage parking in them.

02.3.4 Location. Access aisles shall not overlap the vehicular way. Access aisles shall be permitted to be located on either side of the parking space except for angled van parking spaces which shall have access aisles located on the passenger side of the parking spaces.

Figure 502.2 Vehicle Parking Spaces

02.4 Floor or Ground Surfaces. Parking spaces and access aisles serving them shall comply with 302. Access aisles shall be at the same level as the parking spaces they serve. Changes in level are not permitted.

EXCEPTION: Slopes not steeper than 1:48 shall be permitted.

02.5 Vertical Clearance. Parking spaces for vans and access aisles and vehicular ways shall provide a vertical clearance of 98 inches (2490 mm) minimum.

02.6 Identification. Parking space identification signs shall include the International Symbol of Accessibility complying with 703.7.2.1. Signs identifying van parking spaces shall contain the designation "van accessible." Signs shall be 60 inches (1525 mm) minimum above the finish floor or ground surface measured to the bottom of the sign.

Figure 502.3 Parking Space Access Aisle

02.7 Relationship to Accessible Routes. Parking spaces and access aisles shall be designed so that cars and vans, when parked, cannot obstruct the required clear width of adjacent accessible routes.

03 Passenger Loading Zones

03.1 General. Passenger loading zones shall comply with 503.

03.2 Vehicle Pull-Up Space. Passenger loading zones shall provide a vehicular pull-up space 96 inches (2440 mm) wide minimum and 20 feet (6100 mm) long minimum.

03.3 Access Aisle. Passenger loading zones shall provide access aisles complying with 503 adjacent to the vehicle pull-up space. Access aisles shall join an accessible route and shall not overlap the vehicular way.

03.3.1 Width. Access aisles serving vehicle pull-up spaces shall be 60 inches (1525 mm) wide minimum.

03.3.2 Length. Access aisles shall extend the full length of the vehicle pull-up spaces they serve.

03.3.3 Marking. Access aisles shall be marked so as to discourage parking in them.

03.4 Floor and Ground Surfaces. Vehicle pull-up spaces and access aisles serving them shall comply with 302. Access aisles shall be at the same level as the vehicle pull-up space they serve. Changes in level are not permitted.

EXCEPTION: Slopes not steeper than 1:48 shall be permitted.

03.5 Vertical Clearance. Vehicle pull-up spaces, access aisles serving them, and a vehicular route from an entrance to the passenger loading zone, and from the passenger loading zone to a vehicular exit shall provide a vertical clearance of 114 inches (2895 mm) minimum.

04 Stairways

04.1 General. Stairs shall comply with 504.

04.2 Treads and Risers. All steps on a flight of stairs shall have uniform riser heights and uniform tread depths. Risers shall be 4 inches (100 mm) high minimum and 7 inches (180 mm) high maximum. Treads shall be 11 inches (280 mm) deep minimum.

04.3 Open Risers. Open risers are not permitted.

04.4 Tread Surface. Stair treads shall comply with 302. Changes in level are not permitted.

EXCEPTION: Treads shall be permitted to have a slope of steeper than 1:48.

04.5 Nosing. The radius of curvature at the leading edge of the tread shall be 1/2 inch (13 mm) maximum. Nosings that project beyond risers shall have the underside of the leading edge curved or beveled. Risers shall be permitted to slope under the tread at an angle of 0 degrees maximum from vertical. The permitted projection of the nosing shall extend 1 1/2 inches (38 mm) maximum over the tread below.

Figure 504.5 Stair Nosings

04.6 Handrails. Stairs shall have handrails complying with 505.

04.7 Wet Conditions. Stair treads and landings subject to wet conditions shall be designed to prevent the accumulation of water.

05 Handrails

05.1 General. Handrails provided along walking surfaces complying with 403, required at ramps complying with 405, and required at stairs complying with 504 shall comply with 505.

05.2 Where Required. Handrails shall be provided on both sides of stairs and ramps.

EXCEPTION: In assembly areas, handrails shall not be required on both sides of aisle ramps where a handrail is provided at either side or within the aisle width.

05.3 Continuity. Handrails shall be continuous within the full length of each stair flight or ramp run, include handrails on switchback or dogleg stairs and ramps shall be continuous between flights or runs.

EXCEPTION: In assembly areas, handrails on ramps shall not be required to be continuous in aisles serving seating.

05.4 Height. Top of gripping surfaces of handrails shall be 34 inches (865 mm) minimum and 38 inches (965 mm) maximum vertically above walking surfaces, stair nosings, and ramp surfaces. Handrails shall be at a consistent height above walking surfaces, stair nosings, and ramp surfaces.

Figure 505.4 Handrail Height

05.5 Clearance. Clearance between handrail gripping surfaces and adjacent surfaces shall be 1/2 inches (38 mm) minimum.

505.6 Gripping Surface. Handrail gripping surfaces shall be continuous along their length and shall not be obstructed along their tops or sides. The bottoms of handrail gripping surfaces shall not be obstructed for more than 20 percent of their length. Where provided, horizontal projections shall occur 1 1/2 inches (38 mm) minimum below the bottom of the handrail gripping surface.

EXCEPTIONS: 1. Where handrails are provided along walking surfaces with slopes not steeper than 1:20, the bottoms of handrail gripping surfaces shall be permitted to be obstructed along their entire length where they are integral to crash rails or bumper guards. 2. The distance between horizontal projections and the bottom of the gripping surface shall be permitted to be reduced by 1/8 inch (3.2 mm) for each 1/2 inch (13 mm) of additional handrail perimeter dimension that exceeds 4 inches (100 mm).

505.7 Cross Section. Handrail gripping surfaces shall have a cross section complying with 505.7.1 or 505.7.2.

505.7.1 Circular Cross Section. Handrail gripping surfaces with a circular cross section shall have an outside diameter of 1 1/4 inches (32 mm) minimum and 2 inches (51 mm) maximum.

505.7.2 Non-Circular Cross Sections. Handrail gripping surfaces with a non-circular cross section shall have a perimeter dimension of 4 inches (100 mm) minimum and 6 1/4 inches (160 mm) maximum, and a cross-section dimension of 2 1/4 inches (57 mm) maximum.

505.8 Surfaces. Handrail gripping surfaces and any surfaces adjacent to them shall be free of sharp or abrasive elements and shall have rounded edges.

505.9 Fittings. Handrails shall not rotate within their fittings.

505.10 Handrail Extensions. Handrail gripping surfaces shall extend beyond and in the same direction of stair flights and ramp runs in accordance with 505.10.

EXCEPTIONS: 1. Extensions shall not be required for continuous handrails at the inside turn of switchback or dogleg stairs and ramps.

2. In assembly areas, extensions shall not be required for ramp handrails in aisles serving seating where the handrails are discontinuous to provide access to seating and to permit crossovers within aisles.

3. In alterations, full extensions of handrails shall not be required where such extensions would be hazardous due to plan configuration.

505.10.1 Top and Bottom Extension at Ramps. Ramp handrails shall extend horizontally above the landing for 12 inches (305 mm) minimum beyond the top and bottom of ramp runs. Extensions shall return to a wall, guard, or the landing surface, or shall be continuous to the handrail of an adjacent stair flight.

505.10.2 Top Extension at Stairs. At the top of a stair flight, handrails shall extend horizontally above the landing for 12 inches (305 mm) minimum beginning 12 inches (305 mm) above the first riser nosing. Extensions shall return to a wall, guard, or the landing surface, or shall be continuous to the handrail of an adjacent stair flight.

505.10.3 Bottom Extension at Stairs. At the bottom of a stair flight, handrails shall extend at the slope of the stair flight for a horizontal distance at least equal to one tread depth beyond the last riser nosing. Extension shall return to a wall, guard, or the landing surface, or shall be continuous to the handrail of an adjacent stair flight.

505.10.4 Top Handrail Extension at Stairs. At the top of a stair flight, handrails shall extend at the slope of the stair flight for a horizontal distance at least equal to one tread depth beyond the last riser nosing. Extension shall return to a wall, guard, or the landing surface, or shall be continuous to the handrail of an adjacent stair flight.

CHAPTER 6: PLUMBING ELEMENTS & FACILITIES

601 General

601.1 Scope. The provisions of Chapter 6 shall apply where required by Chapter 2 or where referenced by a requirement in this document.

602 Drinking Fountains

602.1 General. Drinking fountains shall comply with 307 and 602.

602.2 Clear Floor Space. Units shall have a clear floor or ground space complying with 305 positioned for a forward approach and centered on the unit. Knee and toe clearance complying with 306 shall be provided.

EXCEPTION: A parallel approach complying with 305 shall be permitted at units for children's use where the spout is 30 inches (760 mm) maximum above the finish floor or ground and is 3 1/2 inches (90 mm) maximum from the front edge of the unit, including bumpers.

602.3 Operable Parts. Operable parts shall comply with 309.

602.4 Spout Height. Spout outlets shall be 36 inches (915 mm) maximum above the finish floor or ground.

602.5 Spout Location. The spout shall be located 15 inches (380 mm) minimum from the vertical support and 5 inches (125 mm) maximum from the front edge of the unit, including bumpers.

602.6 Water Flow. The spout shall provide a flow of water 4 inches (100mm) high minimum and shall be located 5 inches (125 mm) maximum from the front of the unit. The angle of the water stream shall be measured horizontally relative to the front face of the unit. Where spouts are located less than 3 inches (75 mm) of the front of the unit, the angle of the water stream shall be 30 degrees maximum. Where spouts are located between 3 inches (75 mm) and 5 inches (125 mm) maximum from the front of the unit, the angle of the water stream shall be 15 degrees maximum.

602.7 Drinking Fountains for Standing Persons. Spout outlets of drinking fountains for standing persons shall be 38 inches (965 mm) minimum and 43 inches (1090 mm) maximum above the finish floor or ground.

603 Toilet and Bathing Rooms

603.1 General. Toilet and bathing rooms shall comply with 603.

603.2 Clearances. Clearances shall comply with 603.2.

603.2.1 Turning Space. Turning space complying with 304 shall be provided within the room.

603.2.2 Overlap. Required clear floor spaces, clearance at fixtures, and turning space shall be permitted to overlap.

603.2.3 Door Swing. Doors shall not swing into the clear floor space or clearance required for any fixture. Doors shall be permitted to swing into the required turning space.

EXCEPTIONS:

1. Doors to a toilet room or bathing room for a single occupant accessed only through a private office and not for common use shall be permitted to swing into the clear floor space or clearance provided the swing of the door can be reversed to comply with 603.2.3.

2. Where the toilet room or bathing room is for individual use and a clear floor space complying with 305.3 is provided within the room beyond the arc of the door swing, doors shall be permitted to swing into the clear floor space or clearance required for any fixture.

603.3 Mirrors. Mirrors located above lavatories or countertops shall be installed with the bottom edge of the reflecting surface 40 inches (1015 mm) maximum above the finish floor or ground. Mirrors not located above lavatories or countertops shall be installed with the bottom edge of the reflecting surface 35 inches (890 mm) maximum above the finish floor or ground.

603.4 Coat Hooks and Shelves. Coat hooks shall be located within one of the reach ranges specified in 308. Shelves shall be located 40 inches (1015 mm) minimum and 48 inches (1220 mm) maximum above the finish floor.

604 Water Closets and Toilet Compartments

604.1 General. Water closets and toilet compartments shall comply with 604.2 through 604.8. EXCEPTION: Water closets and toilet compartments for children's use shall be permitted to comply with 604.9.

604.2 Location. The water closet shall be positioned with a wall or partition to the rear and to one side. The centerline of the water closet shall be 18 inches (465 mm) minimum to 18 inches (455 mm) maximum from the side wall or partition, except that the water closet shall be 17 inches (430 mm) minimum and 19 inches (485 mm) maximum from the side wall or partition in the ambulatory accessible toilet compartment specified in 604.8.2. Water closets shall be arranged for a left-hand or right-hand approach. 604.3 Clearance. Clearances around water closets and in toilet compartments shall comply with 604.3.

604.3.1 Size. Clearance around a water closet shall be 60 inches (1525 mm) minimum measured perpendicular from the side wall and 56 inches (1420 mm) minimum measured perpendicular from the rear wall.

604.3.2 Overlap. The required clearance around the water closet shall be permitted to overlap the water closet, associated grab bars, dispensers, sanitary napkin disposal units, coat hooks, shelves, accessible routes, clear floor space and clearances required at other fixtures, and the turning space. No other fixtures or obstructions shall be located within the required water closet clearance.

604.4 Seats. The seat height of a water closet above the finish floor shall be 17 inches (430 mm) minimum and 19 inches (485 mm) maximum measured to the top of the seat. Seats shall not be sprung to return to a lifted position.

EXCEPTIONS: 1. A water closet in a toilet room for a single occupant accessed only through a private office and not for common use or public use shall not be required to comply with 604.4.

604.5 Grab Bars. Grab bars for water closets shall comply with 609. Grab bars shall be provided on the side wall closest to the water closet and on the rear wall. EXCEPTIONS: CRITERIA OMITTED. Not applicable to this project.

604.5.1 Side Wall. The side wall grab bar shall be 42 inches (1065 mm) long minimum, located 12 inches (305 mm) maximum from the rear wall and extending 54 inches (1370 mm) minimum from the rear wall.

604.5.2 Rear Wall. The rear wall grab bar shall be 36 inches (915 mm) long minimum and extend from the centerline of the water closet 12 inches (305 mm) minimum on one side and 24 inches (610 mm) minimum on the other side.

EXCEPTIONS:

1. The rear grab bar shall be permitted to be 24 inches (610 mm) long minimum, centered on the water closet, where wall space does not permit a length of 36 inches (915 mm) minimum due to the location of a recessed fixture adjacent to the water closet.

2. Where an administrative authority requires flush controls for flush valves to be located in a position that conflicts with the location of the rear grab bar, then the rear grab bar shall be permitted to be split or shifted to the open side of the toilet area.

604.6 Flush Controls. Flush controls shall be hand operated or automatic. Hand operated flush controls shall comply with 309. Flush controls shall be located on the open side of the water closet except in ambulatory accessible toilet compartments complying with 604.8.2.

604.7 Dispensers. Toilet paper dispensers shall comply with 309.4 and shall be 7 inches (180 mm) minimum and 9 inches (230 mm) maximum in front of the water closet measured to the centerline of the dispenser. The outlet of the dispenser shall be 15 inches (380 mm) minimum and 48 inches (1220 mm) maximum above the finish floor and shall not be located behind grab bars. Dispensers shall not be of a type that controls delivery or that does not allow continuous paper flow.

604.8 Toilet Compartments. Wheelchair accessible toilet compartments shall meet the requirements of 604.8.1 and 604.8.3. Compartments containing more than one plumbing fixture shall comply with 603. Ambulatory accessible compartments shall comply with 604.8.2 and 604.8.3.

604.8.1 Wheelchair Accessible Compartments. Wheelchair accessible compartments shall comply with 604.8.1.

604.8.1.1 Size. Wheelchair accessible compartments shall be 60 inches (1525 mm) wide minimum measured perpendicular to the side wall, and 56 inches (1420 mm) deep minimum for wall hung water closets and 59 inches (1500 mm) deep minimum for floor mounted water closets measured perpendicular to the rear wall. Wheelchair accessible compartments for children's use shall be 60 inches (1525 mm) wide minimum measured perpendicular to the side wall, and 59 inches (1500 mm) deep minimum for wall hung and floor mounted water closets measured perpendicular to the rear wall.

604.8.1.2 Doors. Toilet compartment doors, including door hardware, shall comply with 404 except that if the approach is to the latch side of the compartment door, clearance between the door side of the compartment and any obstruction shall be 42 inches (1065 mm) minimum. Doors shall be located in the front partition or in the side wall or partition farthest from the water closet. Where located in the front partition, the door opening shall be 4 inches (100 mm) maximum from the side wall or partition farthest from the water closet. Where located in the side wall or partition, the door opening shall be 4 inches (100 mm) maximum from the front partition. The door shall be self-closing. A door pull complying with 404.2.7 shall be placed on both sides of the door near the latch. Toilet compartment doors shall not swing into the minimum required compartment area.

604.8.1.3 Approach. Compartments shall be arranged for left-hand or right-hand approach to the water closet.

604.8.1.4 Toe Clearance. The front partition and at least one side partition shall provide a toe clearance of 9 inches (230 mm) minimum above the finish floor and 6 inches (150 mm) deep minimum beyond the compartment-side face of the partition, exclusive of partition support members. Compartments for children's use shall provide a toe clearance of 12 inches (305 mm) minimum above the finish floor. EXCEPTION: Toe clearance at the front partition is not required in a compartment greater than 62 inches (1575 mm) deep with a wall-hung water closet or 65 inches (1650 mm) deep with a floor-mounted water closet. Toe clearance at the side partition is not required in a compartment greater than 66 inches (1675 mm) wide. Toe clearance at the front partition is not required in a compartment for children's use that is greater than 65 inches (1650 mm) deep.

604.8.1.5 Grab Bars. Grab bars shall comply with 609. A side-wall grab bar complying with 604.5.1 shall be provided and shall be located on the wall closest to the water closet. In addition, a rear-wall grab bar complying with 604.5.2 shall be provided.

604.8.2 Ambulatory Accessible Compartments. CRITERIA OMITTED. Not applicable to this project.

604.8.3 Coat Hooks and Shelves. Coat hooks shall be located within one of the reach ranges specified in 308. Shelves shall be located 40 inches (1015 mm) minimum and 48 inches (1220 mm) maximum above the finish floor.

604.9 Water Closets and Toilet Compartments for Children's Use. CRITERIA OMITTED. Not applicable to this project.

605 Urinals

605.1 General. Urinals shall comply with 605.

605.2 Height and Depth. Urinals shall be the stall-type or the wall-hung type with the rim 17 inches (430 mm) maximum above the finish floor or ground. Urinals shall be 13 1/2 inches (345 mm) deep minimum measured from the outer face of the urinal rim to the back of the fixture.

605.3 Clear Floor Space. A clear floor or ground space complying with 305 positioned for forward approach shall be provided.

605.4 Flush Controls. Flush controls shall be hand operated or automatic. Hand operated flush controls shall comply with 309.

606 Lavatories and Sinks

606.1 General. Lavatories and sinks shall comply with 606.

606.2 Clear Floor Space. A clear floor space complying with 305, positioned for a forward approach, and knee and toe clearance complying with 306 shall be provided.

EXCEPTIONS: CRITERIA OMITTED. Not applicable to this project.

606.3 Height. Lavatories and sinks shall be installed with the front of the higher of the rim or counter surface 34 inches (865 mm) maximum above the finish floor or ground.

EXCEPTIONS: 1. A lavatory in a toilet or bathing facility for a single occupant accessed only through a private office and not for common use or public use shall not be required to comply with 606.3.

606.4 Faucets. Controls for faucets shall comply with 309. Hand-operated metering faucets shall remain open for 10 seconds minimum.

606.5 Exposed Pipes and Surfaces. Water supply and drain pipes under lavatories and sinks shall be insulated or otherwise configured to protect against contact. There shall be no sharp or abrasive surfaces under lavatories and sinks.

607 Bathtubs. CRITERIA OMITTED. Not applicable to this project.

608 Shower Compartments. CRITERIA OMITTED. Not applicable to this project.

609 Grab Bars

609.1 General. Grab bars in toilet facilities and bathing facilities shall comply with 609.

609.2 Cross Section. Grab bars shall have a cross section complying with 609.2.1 or 609.2.2.

609.2.1 Circular Cross Section. Grab bars with circular cross sections shall have an outside diameter of 1 1/4 inches (32 mm) minimum and 2 inches (51 mm) maximum.

609.2.2 Non-Circular Cross Section. CRITERIA OMITTED. Not applicable to this project.

609.3 Spacing. The space between the wall and the grab bar shall be 1 1/2 inches (38 mm). The space between the grab bar and projecting objects below and at the ends shall be 1 1/2 inches (38 mm) minimum. The space between the grab bar and projecting objects above shall be 12 inches (305 mm) minimum.

EXCEPTION: The space between the grab bars and shower 1 1/2 inches (38 mm) minimum.

609.4 Position of Grab Bars. Grab bars shall be installed in a horizontal position, 33 inches (840 mm) minimum and 36 inches (915 mm) maximum above the finish floor measured to the top of the gripping surface. REMAINDER OF CRITERIA OMITTED. Not applicable to this project.

609.5 Surface Hazards. Grab bars and any wall or other surfaces adjacent to grab bars shall be free of sharp or abrasive elements and shall have rounded edges.

609.6 Fittings. Grab bars shall not rotate within their fittings.

609.7 Installation. Grab bars shall be installed in any manner that provides a gripping surface at the specified locations and that does not obstruct the required clear floor space.

609.8 Structural Strength. Allowable stresses shall not be exceeded for materials used when a vertical or horizontal force of 250 pounds (112 N) is applied at any point on the grab bar, fastener, mounting device, or supporting structure.

610 Seats. CRITERIA OMITTED. Not applicable to this project.

611 Washing Machines and Clothes Dryers. CRITERIA OMITTED. Not applicable to this project.

612 Saunas and Steam Rooms. CRITERIA OMITTED. Not applicable to this project.

CHAPTER 7: COMMUNICATION ELEMENTS AND FEATURES

701 General

701.1 Scope. The provisions of Chapter 7 shall apply where required by Chapter 2 or where referenced by a requirement in this document.

702 Fire Alarm Systems

702.1 General. Fire alarm systems shall have permanently installed audible and visible alarms complying with NFPA 72 (1999 or 2002 edition) (incorporated by reference, see "Referenced Standards" in Chapter 1), except that the maximum allowable sound level of audible notification appliances complying with section 4-3.2.1 of NFPA 72 (1999 edition) shall have a sound level no more than 110 dB at the minimum hearing distance from the audible appliance. In addition, alarms in guest rooms required to provide communication features shall comply with sections 4-3 and 4-4 of NFPA 72 (1999 edition) or sections 7.4 and 7.5 of NFPA 72 (2002 edition).

EXCEPTION: Fire alarm systems in medical care facilities shall be permitted to be provided in accordance with industry practice.

703 Signs: CRITERIA RELATED TO DESIGN AND MANUFACTURE OMITTED. Not applicable to this project. CRITERIA RELATED TO FIELD INSTALLATION INCLUDED.

703.4 Installation Height and Location. Signs with tactile characters shall comply with 703.4.

703.1 - 703.3 CRITERIA OMITTED. Not applicable to this project.

703.4.1 Height Above Finish Floor or Ground. Tactile characters on signs shall be located 48 inches (1220 mm) minimum above the finish floor or ground surface, measured from the baseline of the lowest tactile character and 60 inches (1525 mm) maximum above the finish floor or ground surface, measured from the baseline of the highest tactile character. EXCEPTION: Tactile characters for elevator car controls shall not be required to comply with 703.4.1.

703.4.2 Location. Where a tactile sign is provided at a door, the sign shall be located alongside the door at the latch side. Where a tactile sign is provided at double doors with one active leaf, the sign shall be located on the inactive leaf. Where a tactile sign is provided at double doors with two active leaves, the sign shall be located to the right of the right hand door. Where there is no wall space at the latch side of a single door or at the right side of double doors, signs shall be located on the nearest adjacent wall. Signs containing tactile characters shall be located so that a clear floor space of 18 inches (455 mm) minimum by 18 inches (455 mm) minimum, centered on the tactile characters, is provided beyond the arc of any door swing between the closed position and 45 degree open position.

EXCEPTION: Signs with tactile characters shall be permitted on the push side of doors with closers and without hold-open devices.

703.5 - 703.6 CRITERIA OMITTED. Not applicable to this project.

703.7 Symbols of Accessibility. Symbols of accessibility shall comply with 703.7.

703.7.1 Finish and Contrast. Symbols of accessibility and their background shall have a non-glare finish. Symbols of accessibility shall contrast with their background with either a light symbol on a dark background or a dark symbol on a light background.

703.7.2 Symbols. 703.7.2.1 International Symbol of Accessibility. The International Symbol of Accessibility shall comply with Figure 703.7.2.1.

704 Telephones (Public Telephones). CRITERIA OMITTED. Not applicable to this project.

705 Detectable Warnings. CRITERIA OMITTED. Not applicable to this project.

706 Assistive Listening Systems required in assembly areas. CRITERIA OMITTED. Not applicable to this project.

707 Automatic Teller Machines and Fare Machines. CRITERIA OMITTED. Not applicable to this project.

708 Two-Way Communication Systems. CRITERIA OMITTED

9. SCREWS, MISCELLANEOUS FASTENING DEVICES, AND INTERNAL COMPONENTS SHALL BE OF ALUMINUM, STAINLESS STEEL, OR ZINC PLATED STEEL IN ACCORDANCE WITH ASTM A_164.
10. GLASS FRAMING MEMBERS SHALL PROVIDE FOR FLUSH GLAZING WITH THROUGH SIGHT LINES, WITHOUT PROJECTING STOPS, FOR GLASS SIZES 1/4" IN THICKNESS OR FOR INSULATING GLASS OF 1" IN THICKNESS. SYSTEM SHALL PROVIDE RESILIENT SETTINGS FOR GLASS BY USE OF EPDM ELASTOMERIC EXTRUSIONS.
11. INCLUDE FLASHINGS IN CONJUNCTION WITH COMPONENTS AS DETAILED, FINISHED TO MATCH.
- ALUMINUM DOORS**
12. PERFORMANCE: RESISTANCE TO CORNER RACKING SHALL BE TESTED BY THE DUAL MOMENT LOAD TEST AS FOLLOWS:
13. TEST SECTION SHALL CONSIST OF STANDARD TOP DOOR CORNER ASSEMBLY. SIDE RAIL SECTION SHALL BE 24" LONG AND TOP RAIL SECTION 12" LONG. ANCHOR "TOP RAIL" POSITIVELY TO TEST BENCH SO THAT CORNER PROTRUDES 3" BEYOND BENCH EDGE.
14. ANCHOR A LEVER ARM POSITIVELY TO SIDE RAIL AT A POINT 19" FROM INSIDE EDGE OF TOP RAIL. ATTACH WEIGHT SUPPORT PAD AT A POINT 19" FROM INNER EDGE OF SIDE RAIL.
15. TEST SECTION SHALL WITHSTAND A LOAD OF 190 POUNDS ON THE LEVER ARM BEFORE REACHING THE POINT OF FAILURE, WHICH SHALL BE CONSIDERED A ROTATION OF THE LEVER ARM IN EXCESS OF 450.

16. WORK REQUIRED: PROVIDE ALUMINUM DOORS AS FOLLOWS:
- a. KAWNEER NARROW STILE 190 ENTRANCE WITH A 12" ADA COMPLIANT BOTTOM RAIL
- b. KAWNEER MEDIUM STILE 350 ENTRANCE WITH A 12" ADA COMPLIANT BOTTOM RAIL.
17. PROVIDE SINGLE AND/OR PAIRS AS INDICATED IN THE DOOR SCHEDULE ON THE DRAWINGS.

- MATERIALS**
18. SECTIONS SHALL BE EXTRUDED FOR 6063_T5 ALUMINUM ALLOY (ASTM B221 _ ALLOY G-5.
19. FASTENERS, WHERE EXPOSED, SHALL BE ALUMINUM, STAINLESS STEEL OR PLATED STEEL IN ACCORDANCE WITH ASTM A_164. PERIMETER ANCHORS SHALL BE ALUMINUM OR STEEL, PROVIDING THE STEEL IS PROPERLY ISOLATED FROM THE ALUMINUM.
20. GLAZING GASKETS SHALL BE EPDM ELASTOMERIC EXTRUSIONS.
21. MAJOR PORTIONS OF THE DOOR STILES SHALL BE 0.125" IN THICKNESS AND GLAZING MOLDING SHALL BE 0.050" THICK.

- CONSTRUCTION**
22. NARROW STILE 190: VERTICAL STILES 2-1/8", TOP RAIL 2-1/4", BOTTOM RAIL 12"
23. MEDIUM STILE 350: VERTICAL STILES 3-1/2", TOP RAIL 3-1/2", BOTTOM RAIL 12"
24. CORNER CONSTRUCTION SHALL CONSIST OF BOTH SIGMA DEEP PENETRATION AND FILLET WELD AND MECHANICAL CLIP FASTENING. GLAZING STOPS SHALL BE SNAP-IN TYPE WITH EPDM GLAZING GASKETS.

25. DOOR SHALL BE WEATHER STRIPPED ON 3 SIDES WITH METAL BACKED PILE CLOTH INSTALLED IN DOOR AND/OR FRAME. A WEATHER-STRIPPED ADJUSTABLE ASTRAGAL WITH STAINLESS STEEL BACKING SHALL BE PROVIDED AT PIVOTED STILES AND AT MEETING STILES OF PAIRS OF DOORS. BOTTOM SHALL BE WEATHER STRIPPED WITH AN EPDM BLADE GASKET SWEEP STRIP APPLIED WITH CONCEALED FASTENERS IF FURNISHED BY ALUMINUM DOOR MANUFACTURER.

26. HARDWARE SPECIFIED BELOW FOR ALUMINUM DOORS SHALL BE FURNISHED AND INSTALLED BY THE DOOR MANUFACTURER.
- a. LOOKS - ACTIVE LEAF: ADAMS RITE DEADLOCK
- b. HINGES/PIVOTS: MANUFACTURER'S STANDARD
- c. CLOSER: MANUFACTURER'S STANDARD AND BE ADA COMPLIANT.
- d. PUSH PULL HARDWARE: MANUFACTURER'S STANDARD AND BE ADA COMPLIANT
- e. THRESHOLD: MANUFACTURER'S STANDARD AND BE ADA COMPLIANT.
- f. SWEEPS: MANUFACTURER'S STANDARD
- g. WEATHER-STRIPPING: MANUFACTURER'S STANDARD

27. COLOR SHALL MATCH DOOR COLOR.

- ALUMINUM FINISHES**
28. AFTER FABRICATION OF DOORS AND FRAMES PREPARE THE ALUMINUM SURFACES FOR FINISHING IN ACCORDANCE WITH THE ALUMINUM PRODUCER'S RECOMMENDATIONS AND STANDARDS OF THE FINISHER OR PROCESSOR. PROCESS COMPONENTS OF EACH ASSEMBLY SIMULTANEOUSLY TO ATTAIN COMPLETE UNIFORMITY OF COLOR. FACTORY APPLY THE SPECIFIED COLOR AND FINISH.

29. COLORED ANODIZED FINISH: AA_M12C2244A CLASS I (MINIMUM THICKNESS OF 0.7 MILS), INTEGRAL CORN PERMANODIC.
30. COLORED POWDER COATED FINISH: AAMA 2604-98 (MINIMUM THICKNESS OF 1.2MILLS), INTERPON D2000 PERFORMANCE.

31. REFER TO THE FINISH AND COLOR SCHEDULE ON THE DRAWINGS FOR ALUMINUM FINISHES AND COLOR.

- FABRICATION**
32. COMPLETE THE CUTTING, FITTING, FORMING, DRILLING, AND GRINDING OF METAL WORK PRIOR TO CLEANING, FINISHING, TREATMENT, AND APPLICATION OF COATINGS.

33. WELD BY METHODS RECOMMENDED BY THE MANUFACTURER AND AWS TO AVOID DISCOLORATION AT WELDS. GRIND EXPOSED WELDS SMOOTH AND RESTORE MECHANICAL FINISH. REMOVE ARISES FROM CUT EDGES AND EASE EDGES AND CORNERS TO A RADIUS OF APPROXIMATELY 1/64".

34. CONCEAL FASTENERS, WHEREVER POSSIBLE, EXCEPT AS OTHERWISE SHOWN.

35. MAINTAIN CONTINUITY OF LINE AND ACCURATE RELATION OF PLANES AND ANGLES. PROVIDE SECURE ATTACHMENT AND SUPPORT AT MECHANICAL JOINTS, WITH HAIRLINE FIT OF CONTACTING MEMBERS.

36. REINFORCE THE WORK AS NECESSARY FOR PERFORMANCE REQUIREMENTS AND FOR SUPPORT TO THE STRUCTURE. SEPARATE DISSIMILAR METALS WITH BITUMINOUS PAINT OR PREFORMED SEPARATORS, WHICH WILL PREVENT CORROSION. SEPARATE METAL SURFACES AT MOVING JOINTS WITH NONMETALLIC SEPARATORS TO PREVENT "FREEZE_UP" OF JOINTS.

- ALUMINUM FRAMES**
37. FABRICATE TUBULAR FRAME ASSEMBLIES WITH EITHER WELDED OR MECHANICAL JOINTS IN ACCORDANCE WITH MANUFACTURER'S STANDARDS, WITH CONCEALED FASTENERS WHEREVER POSSIBLE.

38. PROVIDE MEMBERS OF THE SIZE, SHAPE, AND PROFILE SHOWN. REINFORCE INTERNALLY WITH STEEL CHANNEL SHAPES OR AS NECESSARY TO SUPPORT THE REQUIRED LOADS.

39. FOR SINGLE ACTING PIVOTED DOORS WITHOUT CONTINUOUS DOORSTOPS, PROVIDE MANUFACTURER'S STANDARD CLIP TYPE DOORSTOPS FOR HEAD MOUNTING, EQUIPPED WITH NEOPRENE BUMPERS.

40. WEATHER-STRIPPING: PROVIDE COMPRESSION WEATHER STRIPPING ON DOOR CONTACT FACE OF DOORSTOPS ON EXTERIOR DOOR FRAMES AND/OR OTHER FRAMES WHERE INDICATED.

41. PROVIDE GLAZING SYSTEM FOR FRAMES TO RECEIVE LIGHTS. DESIGN SYSTEM FOR REPLACEMENT OF GLASS, BUT FOR NON-REMOVAL OF GLASS FROM EXTERIOR.

42. PROVIDE MANUFACTURER'S STANDARD "FLUSH GLAZING" SYSTEM OF RECESSED CHANNELS AND CAPTIVE GLAZING GASKETS.

43. FABRICATE FRAME ASSEMBLIES FOR EXTERIOR WALLS WITH FLASHING AND WEEPS TO DRAIN PENETRATING MOISTURE TO EXTERIOR. PROVIDE ANCHORAGE AND ALIGNMENT BRACKETS FOR CONCEALED SUPPORT OF ASSEMBLY FROM THE BUILDING STRUCTURE. ALLOW FOR THERMAL EXPANSION OF EXTERIOR UNITS.

- HARDWARE INSTALLATION AT FACTORY**
44. CUT, REINFORCE, DRILL AND TAP FRAMES AS REQUIRED TO RECEIVE HARDWARE, EXCEPT DO NOT DRILL AND TAP FOR SURFACE-MOUNTED ITEMS UNTIL THE TIME OF INSTALLATION AT THE PROJECT SITE. COMPLY WITH HARDWARE MANUFACTURER'S INSTRUCTION AND TEMPLATE REQUIREMENTS. USE CONCEALED FASTENERS WHEREVER POSSIBLE.

45. INSTALL HARDWARE, EXCEPT SURFACE-MOUNTED HARDWARE, AT FABRICATION PLANT. REMOVE ONLY AS REQUIRED FOR FINAL FINISHING OPERATIONS, AND FOR DELIVERY AND INSTALLATION OF THE WORK AT THE PROJECT SITE.

- INSTALLATION**
46. COMPLY WITH MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS FOR THE INSTALLATION OF ALUMINUM DOORS AND FRAMES.

47. SET UNITS PLUMB, LEVEL AND TRUE IN LINE, WITHOUT WARP OR RACK OF FRAMES, DOORS OR PANELS. ANCHOR SECURELY IN PLACE. SEPARATE ALUMINUM AND OTHER CORRODIBLE METAL SURFACES FROM SOURCES OF CORROSION OR ELECTROLYTIC ACTION AT POINTS OF CONTACT WITH OTHER MATERIALS. SURFACE SEAL ALUMINUM AT DISSIMILAR MATERIALS BOTH INSIDE AND OUTSIDE.

48. SET SILL MEMBERS AND OTHER MEMBERS IN A BED OF SEALANT OR WITH JOINT FILLERS OR GASKETS AS SHOWN TO PROVIDE WEATHER-TIGHT CONSTRUCTION.

SECTION 08 31 00 / ACCESS DOORS AND FRAMES

1. METAL ACCESS DOORS AS MANUFACTURED BY MILCOR. COMPARABLE PRODUCTS AS MANUFACTURED BY BILCO OR KARP ARE ACCEPTABLE.

- METAL ACCESS DOORS**
2. ACCESS DOORS IN PLASTER SURFACES SHALL BE STYLE K.
- a. K 16"x16" OR K 24"x24" DEPENDING ON STUD SPACING
- b. K 20"x30" IN PLASTER CEILINGS FOR CRAWL SPACE ACCESS

3. ACCESS DOORS IN MASONRY OR TILE SURFACES SHALL BE STYLE M.
- a. M 16"x16" OR M 24"x24" DEPENDING ON STUD SPACING

4. ACCESS DOORS IN WALLBOARD SURFACES SHALL BE STYLE DW.
- a. DW 14"x14" OR DW 22"x22" DEPENDING ON STUD SPACING
- b. M 20"x30" IN WALLBOARD CEILINGS FOR CRAWL SPACE ACCESS

5. ACCESS DOORS IN SUSPENDED FIRE_RATED WALLBOARD SURFACES SHALL BE STYLE UFR.
- a. UFR 22"x30"

DESIGN

6. FRAME SHALL BE 16-GAUGE; DOOR PANEL SHALL BE 14 GAUGE STEEL.
7. STYLE K: CASING BEAD OF 22-GAUGE STEEL SHALL SURROUND THE FRAME.
8. STYLE M: FLANGE SHALL BE 16-GAUGE STEEL, 1" WIDE.
9. STYLE DW: GALVANIZED STEEL WALLBOARD BEAD SHALL SURROUND THE FRAME.
10. PRIME COAT SHALL BE FACTORY APPLIED, BAKED ON ENAMEL, CHEMICALLY BONDED TO THE STEEL.
11. HINGES SHALL BE CONCEALED, SPRING TYPE, OPENING TO 1750.
12. LOCKS SHALL BE FLUSH, KEY OPERATED CYLINDER LOCKS.

- LOCATIONS**
19. PROVIDE ACCESS DOORS AT VALVES (MANUAL OR AUTOMATIC), BACKFLOW PREVENTERS, WATER HAMMER ARRESTERS, AND OTHER LOCATIONS WHERE MECHANICAL DEVICES ARE INSTALLED INSIDE WALLS.

20. PROVIDE ACCESS DOORS FOR CEILING CRAWL SPACE AND ATTIC SPACE AS INDICATED ON THE DRAWINGS

SECTION 08 71 00 / FINISH HARDWARE

1. PROVIDE A ROOM WITH SUFFICIENT SPACE AND SHELVEING IN WHICH TO STORE AND ARRANGE THE FINISH HARDWARE. THIS ROOM SHALL BE LOCKED WITH A LOCK FURNISHED FOR THIS PROJECT. PROTECT HARDWARE FROM DAMAGE BOTH PRIOR TO AND AFTER INSTALLATION. TAG AND TURN KEYS OVER TO OWNER UPON COMPLETION OF THE WORK. HARDWARE SHALL BE ADA COMPLIANT.

2. WHILE THE FOLLOWING HARDWARE LIST IS INTENDED TO COVER DOORS AND ESTABLISH A TYPE AND STANDARD OF QUALITY, WHERE THE SIZE AND SHAPE OF MEMBERS TO BE EQUIPPED WITH HARDWARE PREVENTS OR MAKES UNSUITABLE THE USE OF EXACT TYPES SPECIFIED, FURNISH SUITABLE TYPES HAVING AS NEARLY AS PRACTICABLE THE SAME OPERATION, FUNCTION, STYLE AND QUALITY AS THAT SPECIFIED.

3. SIZES SHALL BE ADEQUATE FOR THE SERVICE TO WHICH THE INDIVIDUAL ITEMS OF HARDWARE WILL BE SUBJECTED IN THE COURSE OF NORMAL USAGE. EXAMINE THE SPECIFICATIONS, PLANS AND DETAILS, AND FURNISH THE PROPER HARDWARE, WHETHER LISTED OR NOT. IF THERE ARE OMISSIONS IN THE HARDWARE GROUPS IN REGARD TO REGULAR DOORS, THEY SHALL BE CALLED TO THE ATTENTION OF ARCHITECT FOR INSTRUCTIONS PRIOR TO BID OPENING; OTHERWISE, THE LIST WILL BE CONSIDERED COMPLETE.

4. SUBMIT SHOP DRAWINGS COMPLYING WITH SECTION 01 33 00 FOR WORK IN THIS SECTION.
- a. PRIOR TO DELIVERY, PREPARE AND SUBMIT TO ARCHITECT, 5 COPIES OF A COMPLETE HARDWARE SCHEDULE. THE SCHEDULE SHALL INDICATE DOOR NUMBER AND LOCATION, QUANTITY, MANUFACTURER'S NUMBER, SIZE AND FINISH ALONG WITH PERTINENT INFORMATION FOR MANUFACTURING AND INSTALLATION. EACH ITEM ON THE SCHEDULE SHALL HAVE AN ITEM NUMBER. THE SCHEDULE SHALL INCLUDE KEYING INSTRUCTIONS.

TEMPLATE HARDWARE

5. HARDWARE SUPPLIED TO METAL DOORS OR JAMBS SHALL BE MADE TO TEMPLATE AND SPACED BY MACHINE SCREWS, WHERE CYLINDRICAL LOCKS ARE USED IN HOLLOW METAL DOORS, FURNISH LOCK REINFORCING IN THE DOOR AT THE TIME OF MANUFACTURE.

- FASTENINGS**
6. FURNISH FINISH HARDWARE WITH SCREWS, BOLTS, OR OTHER FASTENINGS OF SUITABLE SIZE AND TYPE TO ANCHOR THE HARDWARE IN POSITION FOR HEAVY USE AND TO HARMONIZE WITH THE HARDWARE AS TO MATERIAL AND FINISH. FURNISH FASTENINGS WHERE NECESSARY WITH EXPANSION SHIELDS, TOGGLE BOLTS, AND OTHER APPROVED ANCHORS ACCORDING TO THE MATERIAL TO WHICH IT IS APPLIED, AND AS RECOMMENDED BY THE MANUFACTURER. FURNISH HARDWARE FASTENED TO CONCRETE WITH MACHINE SCREWS AND TAMP_INS.

- GUARANTEE**
7. GUARANTEE HARDWARE FOR A PERIOD OF 2 YEARS FROM DATE OF ACCEPTANCE OF WORK. DEFECTS IN MATERIALS AND WORKMANSHIP OCCURRING DURING THE GUARANTEE PERIOD SHALL BE CORRECTED AT NO EXPENSE TO THE OWNER.

- PRODUCTS**
8. BUTTS / PIVOTS: MANUFACTURED BY IVES. HAGER AND STANLEY ARE ACCEPTABLE.

9. EXTERIOR OUT-SWINGING DOORS SHALL HAVE BUTTS WITH NON_REMOVABLE PIN WHEN THE DOOR IS CLOSED. DOORS SHALL HAVE BALL BEARING BUTTS. BUTTS SHALL BE SIZED IN WIDTH TO CLEAR TRIM.
- a. DOORS 1-3/4" THICK AND UP TO 36" WIDE SHALL HAVE 3 (1-1/2 PAIR) 4_1/2" BUTTS
- b. DOORS 1-3/4" THICK AND 37" TO 48" WIDE SHALL HAVE 3 (1-1/2 PAIR) 5" BUTTS.
- c. DOORS 8"-0" AND ABOVE SHALL HAVE 4 (2 PAIR) 5" BUTTS.

10. CLOSERS: MANUFACTURED BY LCN. OVERHEAD, SURFACE APPLIED; UNLESS CONCEALED IS DESIGNATED FOR ENTRANCE DOORS.

11. LOCKS AND LATCHES: MANUFACTURED BY SCHLAGE (NO SUBSTITUTIONS.)

12. CYLINDERS FOR LOCKS SHALL HAVE 6 PIN TUMBLERS. CYLINDERS SHALL BE REMOVABLE WITH CHANGE KEY WITHOUT REMOVING LOCK FROM DOOR. LOCK AND LATCHES TO HAVE 2_3/4" BACKSET UNLESS OTHERWISE NOTED.

13. STRIKES SHALL BE EXTENDED LIPS WHERE REQUIRED TO PROTECT TRIM FROM BEING MARRED BY LATCH BOLT. WROUGHT BOXES SHALL BE FURNISHED WITH STRIKES.

14. PADLOCKS: MANUFACTURED BY SCHLAGE (NO SUBSTITUTIONS.)

15. KEYS AND KEYING: MANUFACTURED BY SCHLAGE (NO SUBSTITUTIONS.) CYLINDERS FOR THIS PROJECT SHALL BE SET TO NEW MASTER KEYS. CYLINDERS TO BE CONSTRUCTION MASTER KEYED. MASTER KEY SETS AND INDIVIDUAL KEYING OF LOCKS SHALL BE DETERMINED BY OWNER.

- SECTION 09 29 00 / GYPSUM BOARD**
1. FURNISH:
- a. 6 EACH CONSTRUCTION MASTER KEYS.
- b. 3 EACH MASTER KEYS FOR EACH MASTER KEY SET.
- c. 3 EACH CHANGE KEYS FOR EACH CYLINDER AND LOCKSET.
- d. GRAND MASTER, MASTER, AND CHANGE KEYS SHALL BE PROPERLY TAGGED FOR EASY IDENTIFICATION AND DELIVERED TO AN AUTHORIZED RECIPIENT AS DIRECTED BY ARCHITECT.

17. STOPS: MANUFACTURED BY IVES

18. STOPS (OTHER THAN OVERHEAD TYPE) SHALL BE WALL TYPE WHERE A WALL IS INDICATED WITHIN 12" AND PARALLEL TO THE DOOR LEAF IN THE OPEN POSITION AT 90°. DOOR LEAF AND STOPS SHALL BE PROVIDED FOR DOORS WITH NO OVERHEAD STOPS AND NO RESTRICTIONS WITHIN 180° OF SWING.

19. OVERHEAD STOP INSTALL ON EXTERIOR ALUMINUM ENTRANCE DOORS: MANUFACTURED BY GLYNN-JOHNSON.

20. THRESHOLDS: MANUFACTURED BY PEMCO. TYPE AS SPECIFIED IN HARDWARE GROUPS, SIZED TO FIT OPENINGS.

21. DOOR SWEEPS: MANUFACTURED BY PEMCO. PROVIDE DOOR SWEEPS ON EXTERIOR DOORS.

22. WEATHER-STRIPING: MANUFACTURED BY PEMCO. PROVIDE AT EXTERIOR DOORS AT HEAD AND JAMB STILES.

23. SILENCERS: MANUFACTURED BY IVES. METAL FRAMES TO HAVE: SINGLE DOORS -3 EACH JAMB; DOUBLE DOORS - 2 EACH JAMB.

24. EXIT DEVICES & TRIM: MANUFACTURED BY VON DUPRIN, INC.

25. EXIT DEVICES SHALL BE PANIC HARDWARE DEVICES MOUNTED ON DOORS AS SCHEDULED.

26. DRIP CAP: MANUFACTURED BY PEMCO. PROVIDE DRIP CAP OVER EXTERIOR OUT-SWINGING HOLLOW METAL DOORS NOT PROTECTED BY A WEATHER-TIGHT CANOPY.

27. ALARM LOCKS: MANUFACTURED BY DETEX NO SUBSTITUTIONS.)

28. ASTRAGALS: MANUFACTURED BY PEMCO.

29. FLUSH BOLTS: MANUFACTURED BY IVES.

30. LOCK GUARDS: MANUFACTURED BY IVES.

31. PUSH / PULL PLATES: MANUFACTURED BY IVES.

32. OFFSET PULLS: MANUFACTURED BY IVES.

33. DOOR SIGNS: MANUFACTURED BY TRIMCO.

SECTION 08 81 00 / GLASS GLAZING

1. SUBMIT SAMPLES COMPLYING WITH SECTION 01 33 00 FOR WORK IN THIS SECTION.
- a. REVIEW OF SAMPLES WILL BE FOR COLOR ONLY.

2. PROVIDE MATERIAL AND INSTALLATION IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS, RECOMMENDATIONS AND INSTALLATION INSTRUCTIONS FOR MATERIALS SPECIFIED.

3. WATERTIGHT AND AIRTIGHT INSTALLATION OF EACH PIECE OF GLASS IS REQUIRED. EACH INSTALLATION WITHSTAND NORMAL TEMPERATURE CHANGES, WIND LOADING, IMPACT LOADING (FOR OPERATING DOORS) WITHOUT FAILURE INCLUDING LOSS OR BREAKAGE OF GLASS, FAILURE OF SEALANTS OR GASKETS TO REMAIN WATERTIGHT AND AIRTIGHT, DETERIORATION OF GLAZING MATERIALS AND OTHER DEFECTS IN THE WORK.

4. PROTECT GLASS FROM EDGE DAMAGE DURING HANDLING, INSTALLATION AND OPERATION OF THE BUILDING. GLASS BREAKAGE DURING THE GUARANTEE PERIOD WILL BE CONSIDERED A FORM OF FAULTY INSTALLATION (RESULTING FROM EDGE DAMAGE) UNLESS KNOWN TO RESULT FROM VANDALISM OR OTHER CAUSES NOT RELATED TO MATERIALS AND INSTALLATION.
5. GLAZING CHANNEL DIMENSIONS AS SHOWN ARE INTENDED TO PROVIDE FOR NECESSARY MINIMUM BITE ON THE GLASS, MINIMUM EDGE CLEARANCE AND ADEQUATE SEALANT THICKNESSES, WITH REASONABLE TOLERANCES.

PRODUCTS

6. GLASS AND GLAZING PRODUCTS SHALL BE AS MANUFACTURED BY: PPG INDUSTRIES. PRODUCTS AS MANUFACTURED BY PILKINGTON LOF AND AFGD INC ARE ACCEPTABLE SUBJECT TO MEETING SPECIFICATION PERFORMANCE REQUIREMENTS AND COLOR.

MATERIALS

7. REGULAR GLASS: 3/8" THICK COMPLYING WITH FS DD_G_451, TYPE I, CLASS I, QUALITY Q_3, PLATE OR FLOAT GLASS, CLEAR.
8. SHEET GLASS: 3/8" THICK COMPLYING WITH FS DD_G_451, TYPE II, CLASS I, QUALITY Q_5, CLEAR.
9. TEMPERED GLASS: 3/8" THICK FULLY TEMPERED PLATE GLASS. PERMANENTLY ETCH EACH LIGHT WITH MANUFACTURER'S NAME AND COMPLIANCE WITH ANSI Z_97.1, CLEAR OR TINTED AS INDICATED ON THE DRAWINGS. GLASS THICKNESS REQUIREMENT TO BE CONFIRMED BY PROVIDER.

10. CLEAR WIRE GLASS: 1/4" THICK POLISHED WIRE GLASS; SUPERLITE I-W AS MANUFACTURED BY SAFTI OF O'KEEFE'S, INC., DIAMOND PATTEN WITH 20 / 45 / 60 OR 90 MINUTE RATING AS INDICATED ON THE DRAWINGS.
11. SPANDREL GLASS: 1/4" THICK AS MANUFACTURED BY: OLDCASTLE GLASS.
12. TINTED GLASS: 1/4" THICK SOLARBRONZE.
13. INSULATING GLASS: 1" THICK SOLARBAN 60.
14. INTERIOR GLAZING COMPOUND: POLYMERIZED BUTYL RUBBER AND INERT FILLERS (PIGMENTS), SOLVENT BASED WITH MINIMUM 75% SOLIDS, NON_SAG CONSISTENCY, TACK_FREE TIME OF 24 HOURS OR LESS, PAINTABLE AND NON_STAINING.
15. SETTING BLOCKS: NEOPRENE, EPDM, MIN. LENGTH 4".
16. EXTERIOR GLAZING COMPOUND: CONFORMING TO ASTM C920, TYPE S, GRADE NS USE G.
17. BUTT GLAZING SEALANT: GE 1200 SERIES SILICONE.

- INSTALLATION**
18. COMPLY WITH COMBINED RECOMMENDATIONS OF GLASS MANUFACTURER AND MANUFACTURER OF SEALANTS AND OTHER MATERIALS USED IN GLAZING, EXCEPT WHERE MANUFACTURER'S TECHNICAL REPRESENTATIVES DIRECT OTHERWISE. COMPLY WITH GLAZING MANUAL BY FLAT GLASS MANUFACTURER'S ASSOCIATION, AND EXCEPT AS SPECIFICALLY RECOMMENDED OTHERWISE BY THE MANUFACTURERS OF THE GLASS AND GLAZING MATERIALS.

19. CLEAN THE GLAZING, CHANNEL OR OTHER FRAMING MEMBERS TO RECEIVE GLASS, IMMEDIATELY BEFORE GLAZING. REMOVE COATINGS THAT ARE NOT FIRMLY BONDED TO THE SUBSTRATE. DO NOT ATTEMPT TO CUT, SEAM, NIP OR ABRASE GLASS THAT IS TEMPERED OR HEAT STRENGTHENED.

20. INSPECT EACH PIECE OF GLASS IMMEDIATELY BEFORE INSTALLATION, AND ELIMINATE ANY THAT HAVE OBSERVABLE EDGE DAMAGE OR FACE IMPERFECTIONS. INSTALL SETTING BLOCKS OF PROPER SIZE AT QUARTER POINTS OF MILL RABBIT. SET BLOCKS IN THIS COURSE OF THE HEEL HEAD COMPOUND.

21. PROVIDE SPACERS INSIDE AND OUT, AND OF PROPER SIZE AND SPACING, FOR GLASS SIZES LARGER THAN 50 UNITED INCHES. PROVIDE 1/8" MINIMUM BITE OF SPACERS ON GLASS, AND USE THICKNESS EQUAL TO SEALANT WIDTH. UNIFY SURFACE OF EACH SERIES OF LIGHTS BY SETTING EACH PIECE TO MATCH OTHERS AS NEARLY AS POSSIBLE. INSPECT EACH PIECE AND SET WITH PATTERN, DRAW AND BOW ORIENTED IN THE SAME DIRECTION AS OTHER PIECES.

22. MITER CUT AND BOND ENDS TOGETHER AT CORNERS WHERE GASKETS ARE USED FOR CHANNEL GLAZING, SO THAT GASKETS WILL NOT PULL AWAY FROM CORNERS AND RESULT IN VOIDS OR LEAKS.

- SECTION 09 29 00 / GYPSUM BOARD**
1. ASTM C-840 AND C-754, AND GA-216, ARE HEREBY MADE A DIRECT PART OF THIS SPECIFICATION.
2. SUBMIT INFORMATION COMPLYING WITH SECTION 01 33 00 FOR WORK IN THIS SECTION.
- a. FURNISH MANUFACTURER'S CERTIFICATION THAT MATERIAL MEET SPECIFICATION REQUIREMENT.
- b. FURNISH MANUFACTURER'S PRINTED INSTRUCTIONS FOR INSTALLATION OF ASSEMBLIES.

JOB CONDITIONS

3. TEMPERATURE AND HUMIDITY CONDITIONS: DO NOT INSTALL WALLBOARD UNLESS INSTALLED IN A ROOM WHERE THE HUMIDITY SHALL BE PROVIDED FOR DOORS WITH NO VENTILATION REQUIREMENTS RECOMMENDED BY THE MANUFACTURER.

4. PROTECTION: PROVIDE CLOSURES FOR EXTERIOR OPENINGS, WHERE REQUIRED, ROOM TEMPERATURE DURING INSTALLATION OF WALLBOARD SHALL NOT BE LESS THAN 50° F, WITH ADEQUATE VENTILATION MAINTAINED TO ELIMINATE EXCESSIVE MOISTURE UNTIL JOINT COMPOUND IS DRY.

5. PROVIDE VENTILATION DURING AND FOLLOWING ADHESIVES AND JOINT TREATMENT APPLICATIONS. USE TEMPORARY AIR CIRCULATORS IN ENCLOSED AREAS. PROVIDE VENTILATION UNDER SLOW DRYING CONDITIONS, ALLOW ADDITIONAL DRYING TIME BETWEEN COATS OF JOINT TREATMENT. PROTECT INSTALLED MATERIALS FROM DRAFTS DURING HOT, DRY WEATHER.

MANUFACTURERS

6. FURNISH WALLBOARD COMPONENTS SHALL BE AS MANUFACTURED BY NATIONAL GYPSUM COMPANY, PRODUCTS FROM US GYPSUM COMPANY, GEORGIA, PACIFIC, OR FLINTKOTE BLUE DIAMOND ARE ACCEPTABLE. IT IS INTENDED THAT MATERIALS FURNISHED BE A PART OF A SINGLE SYSTEM, WHETHER IT BE SUPPLIED BY ONE OR SEVERAL MANUFACTURES.

PRODUCTS

7. GYPSUM WALLBOARD
- a. REGULAR WALLBOARD: ASTM C_36; OR FS SS_L_30, TYPE III, GRADE R, CLASS I; 5/8" THICKNESS, TAPERED EDGE.
- b. FIRE RATED WALLBOARD: ASTM C_36, TYPE X; OR FS SS_L_30, TYPE III, GRADE X, CLASS I, 5/8" THICKNESS, TAPERED EDGES.
- c. WATER-RESISTANT WALLBOARD: ASTM C_630, 5/8" THICKNESS, TAPERED EDGE, AS INDICATED ON PLAN.
- d. EXTERIOR WALLBOARD: NATIONAL GYPSUM COMPANY EXTERIOR SOFFIT BOARD, 5/8" THICKNESS, OR CONFORMING TO ASTM C_931.

8. WALLBOARD ACCESSORIES:
- a. CORNER BEAD REINFORCEMENT: KAL-KORNER BEAD
- b. METAL EDGE REINFORCEMENT: J-TRIM CASING BEAD
- c. CONTROL JOINTS: E-Z STRIP OR .093 ZINC CONTROL JOINT

9. NAILS: PROVIDE ANNUAL RING SHANK NAIL, GWB_54, ASTM C_514, 1_1/4" FOR 1/2" WALLBOARD, 1_3/8" FOR 5/8" WALLBOARD, OR SMOOTH SHANK NAIL, 1_3/8" FOR 1/2" WALLBOARD, 1_1/2" FOR 5/8" WALLBOARD.

10. SCREWS: PROVIDE SELF-DRILLING, SELF-TAPPING, BUGLE HEAD, FOR USE WITH POWER DRIVEN TOOL. TYPE S FOR APPLICATION TO LIGHT-GAUGE METAL FRAMING, MINIMUM 1", TYPE S_12 FOR APPLICATION TO HEAVY-GAUGE METAL FRAMING (ASTM C_646); TYPE W FOR APPLICATION TO WOOD FRAMING, MINIMUM 1_1/2" (SINGLE LAYER) 1_5/8" (DOUBLE LAYER) (ASTM C_894); TYPE G FOR WALLBOARD TO WALLBOARD APPLICATION, MINIMUM 1_1/2", (ASTM C_893).

11. LAMINATING ADHESIVES:
- a. WALLBOARD TO WOOD OR METAL FRAMING: US GYPSUM DURABOND 200 OR 300; OR CONFORMING TO ASTM C_557 FOR WOOD FRAMING.
- b. WALLBOARD TO WALLBOARD: US GYPSUM DURABOND 500.
- c. WALLBOARD TO CORE BOARD OR SOUND DEADENING BOARD: US GYPSUM DURABOND 500.
- d. WALLBOARD TO CONCRETE OR MASONRY: US GYPSUM DURABOND 500.

12. SUSPENDED CEILING COMPONENTS:
- a. FURRING CHANNELS: TYPE DWC AS MANUFACTURED BY US GYPSUM, OR RIGID FURRING CHANNELS CONFORMING TO ASTM C_645.
- b. MAIN RUNNER CHANNELS: COLD ROLLED SECTIONS, 1_1/2", FORMED OF NO. 16-GAUGE STEEL, PAINTED WITH A RUST INHIBITING PAINT.
- c. HANGER WIRES: SIZES SPECIFIED, DOUBLE ANNEALED AND GALVANIZED, CONFORMING TO FS QQ_W_461, TYPE I.

13. FINISHING MATERIALS: JOINT TREATMENT SYSTEM SHALL BE PROFORM JOINT SYSTEM CONSISTING OF:
- b. PROFORM PURPOSE JOINT COMPOUND FOR EMBEDDING, FILL AND FINISHING CONFORMING TO ASTM C-475.

14. TEXTURE FINISH:
- a. WALL TEXTURE MATERIAL SHALL BE REGULAR WALL TEXTURE AS MANUFACTURED BY HAMILTON MATERIALS.
- b. CEILING TEXTURE MATERIAL SHALL BE PAS_TEX PREMIUM CEILING TEXTURE, MANUFACTURED BY HAMILTON MATERIALS.
- c. WALL TEXTURE MATERIAL SHALL BE V_1200 WALL TEXTURE AS MANUFACTURED BY LAHABRA PRODUCTS.

15. SEALANTS: ACOUSTICAL SEALANT FOR SOUND CONTROL WALLS SHALL BE PRESSITITE NO 579.64 AS MANUFACTURED BY PRESSITITE PRODUCTS, TREMCO ACOUSTICAL SEALANT BY TREMCO, OR US ACOUSTICAL SEALANT.

INSTALLATION - SUSPENDED CEILINGS

16. EXCEPT WHERE OTHERWISE INDICATED, PROVIDE 1_1/2" MAIN RUNNER CHANNELS SPACED ON 4" CENTERS AND METAL FURRING CHANNELS SPACED ON 12" ON NOT OVER 16" CENTERS. NEITHER MAIN RUNNERS NOR CROSS FURRING SHALL BE LET INTO NOR COME IN CONTACT WITH ABUTTING MASONRY WALLS OR PARTITIONS. LOCATE A MAIN RUNNER WITHIN 6" OF THE WALL TO SUPPORT THE ENDS OF THE FURRING CHANNELS, AND LOCATE HANGERS TO SUPPORT THE ENDS OF THE MAIN RUNNERS.

17. WHERE MAIN RUNNERS OR FURRING CHANNELS ARE SPICED, OVERLAP THE ENDS NOT LESS THAN 8" AND TIE NEAR EACH END OF THE SPLICE WITH 2 LOOPS OF 16 GAUGE GALVANIZED WIRE.

18. SUSPEND MAIN RUNNERS FROM STRUCTURE ABOVE WITH ONE NO. 9 HANGER WIRE FOR EACH 12 SF OF CEILING AREA. WIRE HANGERS SHALL BE OF SUCH LENGTH SO THAT THE LOWER ENDS MAY BE SADDLE-TIED OR WRAPPED AROUND THE MAIN RUNNERS SO AS TO PREVENT TURNING OR TWISTING OF THE RUNNERS.

19. AT CONCRETE TEE UNITS, HANGER WIRES MAY BE ATTACHED BY RAM SET METHOD ONLY ON THE SIDES OF THE TEE STEMS, AT LEAST 6" ABOVE THE BOTTOM OF THE STEM. ATTACHMENT AT OTHER AREAS OF TEE UNITS SHALL BE DRILLED STUD TYPE FASTENERS, WHERE TEES RECEIVE CONVENTIONAL CONCRETE TOPPING, HANGER WIRES MAY BE PLACED BETWEEN JOINTS OF UNITS PROVIDED DOUBLE LOOPED HANGERS ARE USED.
20. AT HOLLOW CORE SLAB MEMBERS, HANGERS SHALL BE GROUTED INTO CELL OF UNIT OR MECHANICAL FASTENERS MUST BE USED TO ATTACH HANGERS.

21. AT STEEL BEAMS, JOISTS OR OTHER STEEL CONSTRUCTION WRAP HANGERS AROUND, INSERT THROUGH, OR CLIP OR BOLT TO THE SUPPORTS, TO DEVELOP THE FULL STRENGTH OF THE HANGERS.

22. FOR WOOD CONSTRUCTION INSERT WIRE HANGERS IN HOLES DRILLED A MINIMUM OF 3" ABOVE BOTTOM OF JOISTS AND WITH THE UPPER END OF THE HANGER IN EACH CASE TWISTED 3 TIMES AROUND ITSELF; OR ATTACH WIRE HANGERS TO 3_12D NAILS, DRIVEN ON A DOWNWARD SLANT INTO SIDES OF JOISTS ALLOWING MINIMUM 1_1/4" PENETRATION INTO THE WOOD. DRIVING NAILS AT LEAST 5" FROM BOTTOM EDGES AND NOT OVER 36" ON CENTER WITH THE UPPER END OF THE HANGER IN EACH CASE TWICE AROUND ITSELF OR, USE 4_1_1/2" 9-GAUGE WIRE STAPLES TO SECURE HANGERS TO THE SIDES OF THE JOISTS, DRIVING STAPLES HORIZONTALLY OR ON A DOWNWARD SLANT, 3 NEAR THE UPPER END OF THE LOOP AND THE FOURTH TO FASTEN THE LOOSE END.

23. FOR CAST IN PLACE CONCRETE INSTALL HANGER WIRES IN THE FORMWORK USING DOUBLE LOOPED HANGERS, SPECIAL INSERTS, AT LEAST EQUIVALENT IN STRENGTH TO THE HANGERS, TO WHICH THE HANGERS CAN LATER BE ATTACHED, MAY BE INSERTED THROUGH OR ATTACHED TO THE TOP OF THE FORMS IN LIEU OF ANCHORING THE HANGERS DIRECTLY IN THE CONCRETE.

BUILDING CODE INFORMATION				
1 APPLICABLE CODES		JURISDICTION: CITY OF IRVINE		
BUILDING		2022 CALIFORNIA BUILDING CODE		
MECHANICAL		2022 CALIFORNIA MECHANICAL CODE		
PLUMBING		2022 CALIFORNIA PLUMBING CODE		
ELECTRICAL		2022 CALIFORNIA ELECTRICAL CODE		
FIRE		2022 CALIFORNIA FIRE CODE		
ENERGY CODE		2022 CALIFORNIA ENERGY CODE		
ACCESSIBILITY		2022 CALIFORNIA BUILDING CODE, TITLE 24 CHAPTER 11A		
GREEN CONSTRUCTION		2022 CALIFORNIA GREEN BUILDING STANDARDS CODE		
2 ZONING CLASSIFICATION:		COMMUNITY COMMERCIAL		
3 PROPOSED OCCUPANCY TYPE:		ASSEMBLY A-3, NON SEPARATED USE		
EXISTING OCCUPANCY TYPE:		B		
4 CONSTRUCTION TYPE:		TYPE VB, SPRINKLERED (EXISTING)		
5 USE CLASSIFICATION:		COMMERCIAL SCHOOL		
6 BUILDING AREA:		ALLOWED: 24,000 SF PROPOSED TENANT SPACE: 2,830 SF (EXISTING, NO CHANGE) ENTIRE MULTITENANT BUILDING: 16,962 SF (EXISTING, NO CHANGE)		
7 BUILDING HEIGHT:		ALLOWED: 60'-0". TWO STORIES PROPOSED: 22'-0", ONE STORY (EXISTING, NO CHANGE)		
8 SEISMIC CATEGORY:		II, DESIGN CATEGORY ASCE7-16		
9 SCOPE OF WORK:		TENANT IMPROVEMENT OF A FORMER WELLNES CENTER		
EGRESS CALCULATION	TOTAL OCCUPANTS: 84	CALCULATED MIN. EGRESS (1005.1) 20' x 84 = 16.8'	MIN EGRESS WIDTH REQUIRED 32" MIN.	TOTAL EGRESS WITH PROVIDED 72"
EXITS	TOTAL REQUIRED: 2	TOTAL PROVIDED: 2 EGRESS WIDTH PER EXIT: 36" CLEAR		
FIRE RESISTIVE REQUIREMENTS	EXTERIOR BEARING WALL	0 HOUR		
	ROOF CONSTRUCTION	0 HOUR		
	CEILING	0 HOUR		
SPRINKLER SYSTEM:	<input checked="" type="checkbox"/> ENTIRE BUILDING (EXISTING)		<input type="checkbox"/> IN LIEU OF ROOF RATING	
	<input type="checkbox"/> BASEMENT ONLY		<input type="checkbox"/> NOT REQUIRED	
FIRE ALARM:				
MAX TRAVEL DISTANCE: 250' WITH SPRINKLER SYSTEM				
PLUMBING CALCULATIONS PER 2022 CPC, TABLE 422.1				
OCCUPANTS: 84		MALE: 42 FEMALE: 42		
WATER CLOSETS	REQUIRED: 1	PROVIDED: 1	REQUIRED: 1	PROVIDED: 2
LAVATORIES	1:200=1	1	1:100=1	2
URINALS	1	0	N/A	N/A
DRINKING FOUNTAIN	REQUIRED 1:250=1		PROVIDED 1+1 ADA	
SERVICE SINK	REQUIRED 1		PROVIDED 1	
UNISEX PERMITTED	YES			
*MALE OCCUPANTS LESS THAN 50, SO THE REQUIRED URINAL SHALL BE PERMITTED TO BE OMITTED PER 2022 CPC, 422.1 NOTE 3 a				

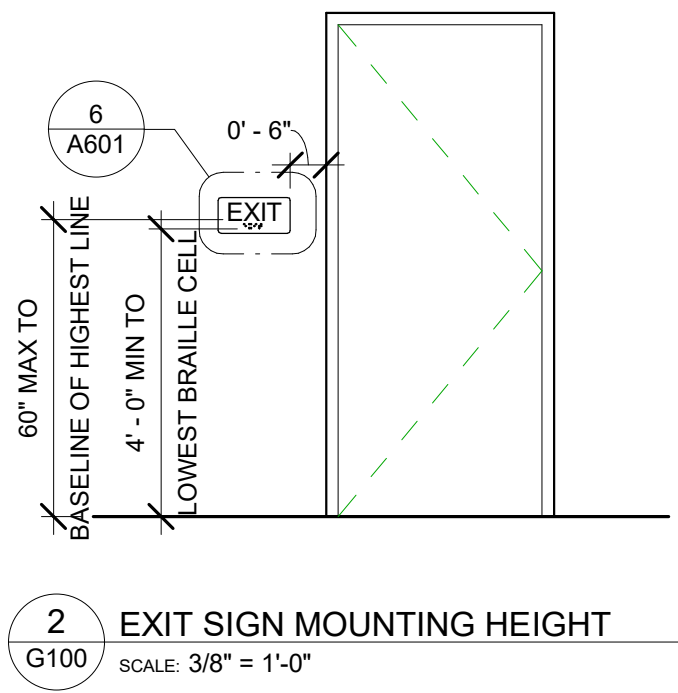
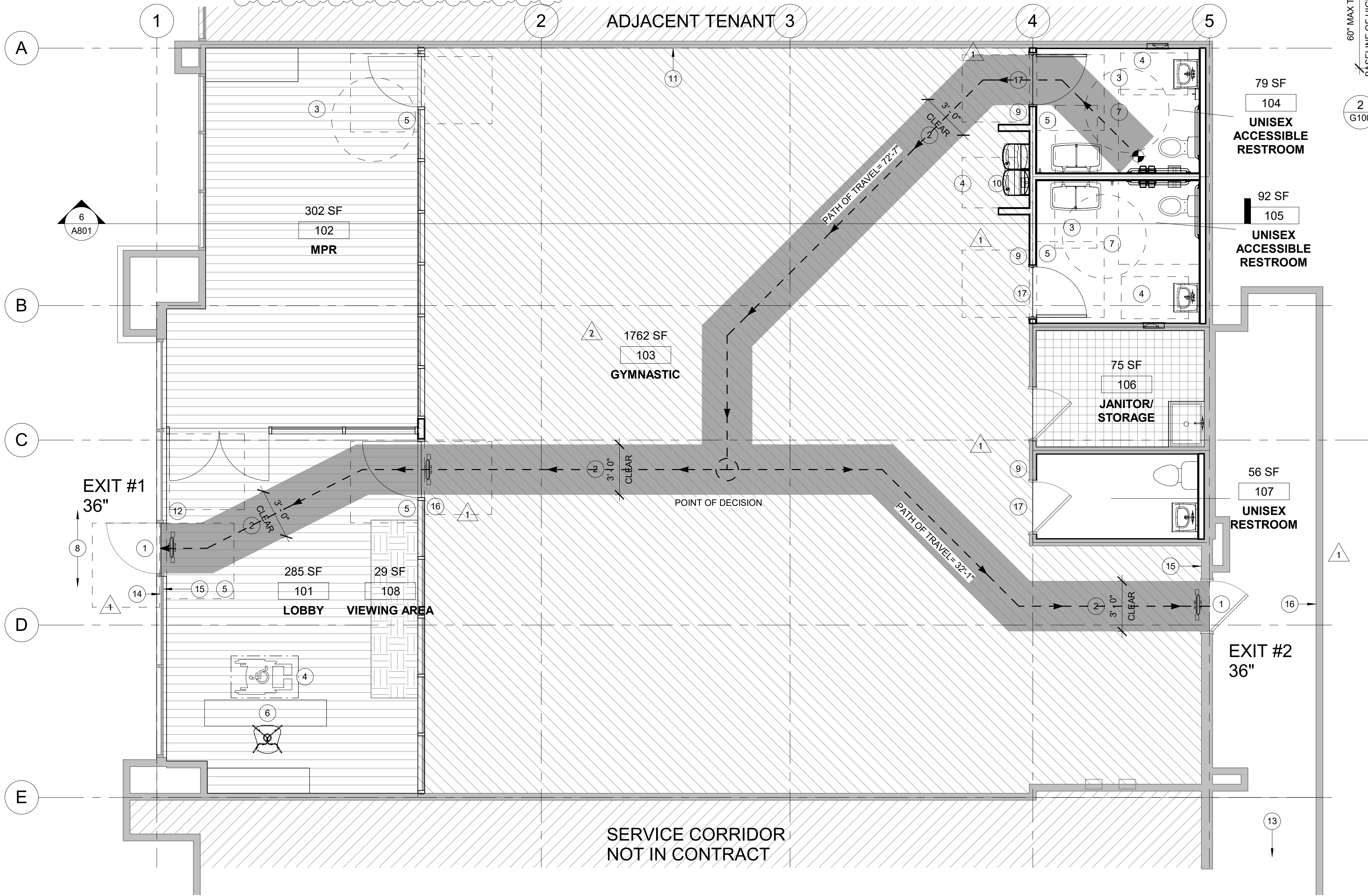
OCCUPANCY CALCULATION				
BASED ON 2022 CBC TABLE 1004.5 MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT				
ROOM NAME	OCCUPANCY TYPE	AREA	OCCUPANCY FACTOR	OCCUPANCY LOAD
UNISEX ACCESSIBLE RESTROOM	ACCESSORY	78.68 SF	0	
UNISEX ACCESSIBLE RESTROOM	ACCESSORY	91.84 SF	0	
UNISEX RESTROOM	ACCESSORY	55.82 SF	0	
VIEWING AREA	ASSEMBLY WITHOUT FIXED SEAT, CONCENTRATED	29.45 SF	5	6.00
MPR	ASSEMBLY WITHOUT FIXED SEAT, UNCONCENTRATED	301.68 SF	15	21.00
LOBBY	ASSEMBLY WITHOUT FIXED SEAT, UNCONCENTRATED	285.19 SF	15	20.00
GYMNASTIC	EXERCISE ROOMS	1762.12 SF	50	36.00
JANITOR/STORAGE	STORAGE	74.71 SF	300	1.00
NON OCCUPIED AREA	N/A	2679.48 SF		84.00
TOTAL AREA		2830.00 SF		

LIFE SAFETY LEGEND	
	EXIT SIGN/ EMERGENCY LIGHT (REF: TO RCP)
	TRAVEL DISTANCE
	30" X 48" WHEELCHAIR CLEAR FLOOR SPACE
	ACCESSIBLE PATH OF TRAVEL / WHEELCHAIR ACCESS
	ACCESSIBLE DOOR CLEARANCES
OCCUPANCY CALCULATION LEGEND	
	EXERCISE ROOM (GYM)
	STORAGE (JANITOR, STORAGE)
	ASSEMBLY WITHOUT FIXED SEATING, UNCONCENTRATED (LOBBY, MPR)
	ASSEMBLY WITHOUT FIXED SEATING, CONCENTRATED (VIEWING AREA)
	NON OCCUPIED AREA

GENERAL NOTES	
A.	INTERIOR WALL AND CEILING FINISH MATERIALS SHALL BE CLASS C WITH FLAME SPREAD RATING LESS THAN 200 AND SMOKE DEVELOPED LESS THAN 450.
B.	FLOOR COVERINGS IN THE EXIT PATH OF ALL COMMON AREA SHALL MEET CLASS A REQUIREMENTS.
C.	BUILDING ENTRANCES: SHALL BE LEVEL - REFERENCE CIVIL DRAWINGS. WHERE NOT ALL ENTRANCES COMPLY WITH ACCESSIBILITY STANDARDS, PROVIDE SIGNAGE AS REQUIRED.
D.	IN ACCORDANCE WITH THE NFPA 101 ALL EXIT DOORS SHALL BE EQUIPPED WITH TACTILE EXIT SIGNAGE THAT COMPLIES WITH ANSI 117.1
E.	UNOCCUPIED AREAS INCLUDE: WALK-IN FREEZER/COOLER, WALLS AND CANOPIES/OVERHANGS, WASHROOM VESTIBULE, VESTIBULE AND RESTROOMS.
F.	ANY AND ALL PENETRATIONS THROUGH FIRE BARRIERS SHALL BE PROTECTED WITH AN APPROVED FIRESTOPPING SYSTEM OR DEVICE.
G.	INTERIOR FLOOR FINISH SHALL BE CLASS I OR II IN ACCORDANCE WITH SECTION 10.2.7.1 OR 10.2.7.2 AS APPLICABLE OF NFPA 101.
H.	GC SHALL FURNISH AND INSTALL FIRE EXTINGUISHER TYPE 2-A, 10-BC MINIMUM. COORDINATE LOCATION WITH THE LOCAL FIRE MARSHAL UPON INSTALLATION- MAINTAIN CLEAR ACCESS.
I.	WALL-MOUNTED FIRE EXTINGUISHERS TO BE MOUNTED AT 42" MAX TO EXTINGUISHER HANDLE UNLESS NOTED OTHERWISE.
J.	GC TO ADD NEW AND OR RECONFIGURE EXISTING SPRINKLER SYSTEM AND FIRE ALARM SYSTEM TO ACCOMMODATE NEW LAYOUT AND MEET ALL LIFE/SAFETY CODES.

ACCESSIBILITY NOTES	
INTERIOR ROUTE CONSTRUCTION	
1.	AN ACCESSIBLE ROUTE, IN THE DIRECTION OF TRAVEL, SHALL NOT HAVE A SLOPE EXCEEDING 1:20 (5/8" PER FOOT), EXCEPT AT A RAMP.
2.	AN ACCESSIBLE ROUTE CROSS SLOPE SHALL NOT EXCEED 1:50 (1/4" PER FOOT).
3.	ALL NEW FLOOR CONSTRUCTION AND FLOORING MATERIALS SHALL NOT HAVE AN ABRUPT VERTICAL CHANGE IN FINISH SURFACE LEVEL GREATER THAN 1/4" WHEN ABUTTING EITHER EXISTING OR NEW SURFACES DESIGNATED FOR AN ACCESSIBLE ROUTE.
DOORS	
1.	ANY THRESHOLD SHALL NOT EXCEED 1/2" IN HEIGHT, NOR 1:2 SLOPE.
2.	ALL ACCESSIBLE HARDWARE OPERABLE BY THE DISABLED, SHALL NOT EXCEED A HEIGHT OF 4'-0" AFF AND SHALL BE EASILY OPERATED WITH ONE HAND WITHOUT GRASPING, PINCHING OR TWISTING OF THE WRIST.
3.	ALL ACCESSIBLE DOORS WITH CLOSERS SHALL HAVE THE CLOSER ADJUSTED SO THAT THE CLOSING TIME, FROM A 70 DEGREE OPEN ANGLE TO WITHIN 3" OF THE JAMB, IS NOT LESS THAN 3 SECONDS.
4.	THE OPENING FORCE OF THE ALL ACCESSIBLE DOORS, EXCEPT FIRE EXIT DOORS, SHALL NOT EXCEED 5 POUNDS IN THE DIRECTION OF TRAVEL FOR EXITING.
5.	THE OPERABLE HARDWARE ON A DOOR LEADING TO HAZARDOUS AREAS (E.G. BOILER ROOMS, MECHANICAL AND ELECTRICAL ROOMS, OTHER EQUIPMENT ROOMS, AND LOADING DOCK), SHALL HAVE A TEXTURED SURFACE ON THE TOUCHABLE AREA.
TOILET ROOMS	
1.	THE FLUSH CONTROL FOR ALL ACCESSIBLE TOILET/URINALS SHALL NOT EXCEED 3'-8" AFF, AND SHALL BE ON THE WIDE (APPROACH) SIDE OF THE TOILET. (EXCEPTION: TANK TYPE TOILETS).
2.	ACCESSIBLE LAVATORIES SHALL HAVE ALL EXPOSED HOT WATER PIPING AND DRAIN PIPES EITHER INSULATED OR CONFIGURED TO PROTECT AGAINST SKIN CONTACT. THE UNDERSIDE OF THE LAVATORY SHALL NOT HAVE ANY SHARP OR ABRASIVE SURFACES.
3.	ANY GRAB BAR INSTALLATION SHALL BE ABLE TO SUPPORT 250 POUNDS APPLIED IN ANY DIRECTION.
SIGNAGE	
1.	ALL ACCESSIBLE PERMANENT ROOMS AND SPACES, EXIT WAYS AND EXIT STAIRWAYS, SHALL HAVE SIGNAGE THAT MEETS ACCESSIBLE SIGNAGE REQUIREMENTS FOR LETTER SIZE, LETTER AND NUMBER TYPESTYLE, RAISED LETTERS, GRADE 2 BRAILLE, COLOR/CONTRAST, AND LOCATION.
2.	ALL ACCESSIBLE TOILET ROOMS SHALL BE DESIGNATED WITH THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AND ACCESSIBLE TEXT SIGNAGE FOR A PERMANENT ROOM, PLACED DIRECTLY BELOW THE PICTOGRAM SYMBOL, THE SIGNAGE SHALL MEET THE ACCESSIBLE SIGNAGE REQUIREMENTS FOR LETTER SIZE, LETTER AND NUMBER TYPESTYLE, RAISED LETTERS, GRADE 2 BRAILLE, COLOR/CONTRAST, AND LOCATION.

KEYED NOTES	
1	LEVEL LANDING THRESHOLD, 1/2" BEVELED MAXIMUM RISE, ACCESSIBLE PER 2022 CBC, SECTION 11B-404.2.5. (VIF).
2	36" WIDE ACCESSIBLE PATH OF TRAVEL.
3	60" DIAMETER CLEAR TURN SPACE FOR WHEELCHAIR ACCESS.
4	30" X 48" CLEAR FOR WHEELCHAIR ACCESS.
5	DOOR CLEARANCES AS INDICATED.
6	COUNTERTOPS ARE AT 2'-6" AFF FOR WHEELCHAIR ACCESSIBILITY.
7	REF: RESTROOM SHEETS FOR RESTROOM DETAILS.
8	EXISTING CONCRETE SIDEWALK.
9	NEW TACTILE RESTROOM SIGNAGE. SEE DETAIL 6/A601
10	ACCESSIBLE DRINKING FOUNTAIN AND BOTTLE FILLER
11	EXISTING 1 HR FIRE RATED DMISING WALL
12	PROVIDE SIGNAGE ON EGRESS SIDE OF OR ADJACENT TO DOOR STATING 'THIS DOOR SHALL REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED' IN ONE INCH LETTERS ON CONTRASTING BACKGROUND. SEE DETAIL 6/A601.
13	SEE SHEET A100 FOR CONTINUATION OF SIDEWALK.
14	EXISTING INTERNATIONAL SYMBOL OF ACCESSIBILITY TO INDICATE ENTRANCE IS PART OF AN ACCESSIBLE ROUTE. SEE DETAIL 6/A601 IF NEEDS TO BE REPLACED
15	GC SHALL PROVIDE TACTILE EXIT SIGN AT EACH GRADE LEVEL EXTERIOR DOOR AND SHALL COMPLY WITH SECTION 1013.1 AND BE IDENTIFIED WITH THE WORD "EXIT". SEE DETAIL 2/G100 & 6/A601
16	GC SHALL PROVIDE TACTILE EXIT ROUTE SIGN AT AN ENCLOSURE OR PASSAGEWAY SHALL COMPLY WITH SECTION 1013.4 AND BE IDENTIFIED WITH THE WORDS "EXIT ROUTE". SEE DETAIL 2/G100
17	GC SHALL PROVIDE GEOMETRIC TOILET SIGN. SEE DETAIL 6/A601



1 G100 OCCUPANCY CALCULATION PLAN
SCALE: 1/4" = 1'-0"

CONSULTANT:

James A. Lastovica
teamofchoice.com Architect

1805 N 2ND ST SUITE 5285 ROGERS, AR 72756 479-636-5004 JOB NO.:33806 DESIGNED BY: CHT

SEAL:

James A. Lastovica
Sep 17, 2025

THE LITTLE GYM IRVINE
3992D BARRANCA PARKWAY IRVINE, CA 92606

SHEET TITLE:
LIFE SAFETY & ACCESSIBILITY PLAN

05/12/2025

REVISIONS:		
No.	Description	Date
1	City Comments Rev.1	06/26/2025
2	City Comments Rev.2	07/29/2025
3	City Comments Rev.3	09/17/2025

JOB No.: 33806
DRAWN BY: ABR

G100

7/29/2025 4:35:24 PM



COMMUNITY DEVELOPMENT
Building and Safety

STANDARD NOTES NON-RESIDENTIAL CONSTRUCTION
2022 CALIFORNIA GREEN BUILDING STANDARDS (4.1)

[Effective July 1, 2024]

Applies to *Newly Constructed Non-residential Buildings and associated site development, initial tenant improvements regardless of valuation, and any subsequent addition of 1,000 square feet or more, or tenant improvement having a valuation of \$200,000 and associated site development.* The following standard notes shall be completed and incorporated into the approved plans and all effected design features and specifications shall be made to conform.

INSTRUCTIONS: Designer to place an "X" preceding each applicable section and complete the notes or indicate "N/A" if not applicable. Building plan check shall be responsible for verification except for those items preceded by a [P] which will be verified by Planning. All provisions generally apply to new construction and additions of 1,000 square feet or more, or tenant improvements having a valuation of \$200,000. An [N], however, indicates a provision applies only to new construction, an [E] indicates a provision that applies to new construction and provides additional qualifiers for when the provision applies to an addition or tenant improvement.

STANDARDS

BICYCLE PARKING CALIFORNIA GREEN BUILDING STANDARDS CODE (CGBSC) Section 5.106.4

[E] Short term bicycle parking applies to new or existing facilities if the project is expected to generate visitor traffic and adds 10 or more vehicular parking spaces.

Check the appropriate box and provide complete input for each selection as applicable:

N/A [P] Short-term bicycle parking (bicycle racks) are provided to accommodate anticipated visitor traffic. The total number provided is: . These racks are located within 200 feet of the visitor's entrance as depicted on plan sheet: .

[E] Long term bicycle parking applies to new shell buildings, and to existing facilities if the project adds 10 or more vehicular parking spaces.

N/A This project will accommodate over 10 tenant-occupants, therefore long term bicycle parking is provided. The total number (minimum one) provided equal to 5% of vehicular parking spaces: . The method(s) selected to satisfy this requirement is (are):

N/A Covered, lockable enclosures with permanently anchored racks for bicycles, the total number provided is: , see plan sheet: .

N/A Lockable bicycle rooms with permanently anchored racks, the total number provided is: , see plan sheet: .

N/A Lockable, permanently anchored bicycle lockers, the total number provided is: , see plan sheet: .

ELECTRIC VEHICLE (EV) CHARGING (CGBC 5.106.5.3)

[E] The following applies to this project:

N/A New construction where the total number of parking spaces is 10 or more.

N/A Addition or alternation to existing parking facility being modified by one of the following:

N/A Increase in power supply to an electric service panel as part of a parking facility addition or alteration.

N/A New Photovoltaic system is installed covering existing parking spaces.

N/A Scope of work is triggered per CGBC section 301.3 and includes increase in power supply to an electric service panel.

FORM 66-113 REV 07/24
PAGE 1 of 6

EV Charging Space Calculation (CGBSC 5.106.5.3.3)

N/A Total parking spaces for the project or total parking spaces added/altered is , therefore pursuant to Table 5.106.5.3.1 a total of EV charging space(s) and a total of EV Capable space(s) are provided. See plan sheet: .

N/A Project has parkings spaces accessible by automated car parking system. This provision is not applicable.

N/A Project is an existing remote parking facility that do not have access to the building service panel. This provision is not applicable.

N/A Project is for an existing parking area lighting upgrades with no trenching. This provision is not applicable.

1. EV Capable Spaces:

- A parking stall width of 108 inches and a length as required by the City of Irvine Zoning Code.
- A listed raceway not less than 1 inch diameter to accommodate a future dedicated 208/240-volt branch circuit originating at the main service or subpanel, and terminating in a listed cabinet, box, or other enclosure in close proximity to the proposed EV capable space. A common raceway may be used to serve multiple EV capable spaces.
- Service panel or subpanel sized to accommodate original design load plus an added dedicated 40 amp minimum branch circuit for each EV capable space with delivery of 30 amp minimum to an installed EV supply equipment (EVSE).
- The electrical system and any on-site distribution transformers shall have sufficient capacity to supply full rated amperage at each EV capable space.
- The service panel or subpanel circuit directory shall identify the reserved overcurrent protective device space(s) as "EV CAPABLE". The raceway termination location shall be permanently and visibly marked as "EV CAPABLE".

2. Electric Vehicle Charging Stations (EVCS):

- EVCS can be any combination of Level 2 and Direct Current Fast Charging (DCFC), except that at least one Level 2 charger shall be provided.
- One EV charger with multiple connectors capable of charging multiple EVs simultaneously shall be permitted if the electrical load capacity required for each EV capable space is accumulatively supplied to the EV charger.
- The installation of each DCFC EVSE shall be permitted to reduced the minimum number of required EV capable spaces without EVSE by five and reduced proportionally the required electrical load capacity to he service panel or subpanel.
- When EV chargers are installed, accessible EVCS shall be provided.
- Accessible EVCS shall be located either on an accessible route or adjacent to an accessible parking space to allow use of the EV charger from the accessible parking.
- EV space serving an accessible EVCS shall be 18 feet minimum length
- EV space serving an accessible EVCS shall be 9 feet wide for standard accessible and 12 ft. wide for van accessible. A 5-foot aisle shall be provided on the side of the vehicle space.
- Surface slope for EV space and the aisle shall not exceed 1:48 in any direction.
- Refer to California Building Code Chapter 11B for applicable requirements to EV space serving accessible EVCS.

Electric Vehicle (EV) Charging: Medium-Duty and Heavy-Duty (CGBC 5.106.5.4)

[N] The following is applicable to construction of new warehouses, grocery stores, office buildings, manufacturing facilities, and retail stores with planned off-street loading spaces.

N/A EV supply and distribution equipment, spare raceway(s) or busway(s) and adequate capacity for transformer(s), service panel(s) or subpanel (s) for medium and heavy duty is provided. See plan sheet.

LIGHT POLLUTION REDUCTION [N](CGBSC Section 5.106.8)

N/A [P] Outdoor lighting designed to comply with the City of Irvine Security Code, Section 3-16-1 of the City of Irvine Zoning Code, which requires all direct rays to be confined to the site and that adjacent properties are protected from glare, and allowable BUG rating limitations of CGBSC Table 5.106.8 are depicted on plan sheet: along with photometrics.

Refer to CGBC Section 5.106.8.1 and 5.106.8.2 for facing requirements and more stringent backlight and glare ratings for luminaries located in proximity to property lines.

FORM 66-113 REV 07/24
PAGE 2 of 6

CONSULTANT:

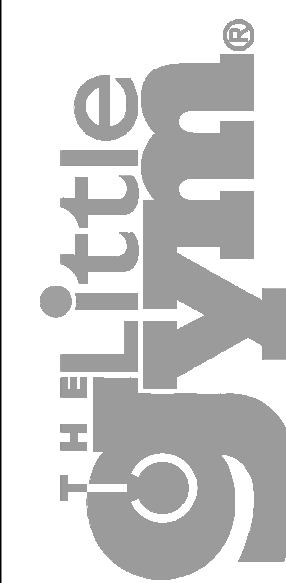
James A. Lastovica
teamofchoice.com Architect

1805 N 2ND ST SUITE 5285 ROGERS, AR 72756 479-636-5004 JOB NO.:33806 DESIGNED BY: CHT



SEAL:

Jul 29, 2025



THE LITTLE GYM IRVINE
3992D BARRANCA PARKWAY
IRVINE, CA 92606

SHEET TITLE:
2022 CALIFORNIA
GREEN BUILDING
STANDARD CODE

05/12/2025

REVISIONS:

No.	Description	Date
1	City Comments Rev.1	06/26/2025

JOB No.: 33806

DRAWN BY: ABR

G101

- Completed and signed Basis of Design (BOD) including all items as specified in CGBSC section 5.410.2.2, see sheet: _____.
- Completed and signed Commissioning Plan, as specified in CGBSC section 5.410.2.3, see sheet: _____.

CONSTRUCTION - PRIOR TO FINAL INSPECTION APPROVAL

- A completed Commissioning Report shall be provided to the City Inspector prior to final inspection approval. Contents, pursuant to CGBSC Section 5.410.2.6, shall include a description of the commissioning process activities undertaken through the design, construction, and reporting recommendations for post construction phases. In addition, all required functional performance testing reports shall be included.
- A completed Systems Manual shall be made available for review by the City Inspector prior to final inspection approval. Contents shall include a completed and signed "Systems Manual" as specified in CGBSC section 5.410.2.5.1.

X TESTING AND ADJUSTING For buildings not exceeding 10,000 square feet, [E] and any new system serving an addition of 1,000 or more square feet or a tenant improvement having a valuation of \$200,000, testing and adjusting are required.

DESIGN

See sheet MP001 for procedures for testing and adjusting systems, which includes:

- HVAC systems and controls
- HVAC balancing per the Testing Adjusting and Balancing Bureau National Standards; the National Environmental Balancing Bureau Procedural Standards; or Associated Air Balance Council National Standards or approved equal.
- Indoor and outdoor lighting and controls
- Water heating systems
- Renewable energy systems
- Landscape irrigation systems
- Water reuse systems

CONSTRUCTION - PRIOR TO FINAL INSPECTION APPROVAL

Completed testing, adjusting, and balancing reports shall be provided to the City Inspector prior to final inspection approval. Contents shall match those specified in the procedures section above and be signed by the responsible parties.

ENVIRONMENTAL QUALITY

N/A FIREPLACES Wood burning devices including fireplaces are not permitted under SCAQMD Rule 445. Any installed gas fireplace shall be a direct-vent sealed-combustion type. (CGBSC Section 5.503)

MECHANICAL EQUIPMENT AND DUCT PROTECTION

To reduce the amount of dust, water, and debris collected in mechanical equipment and ducts, all duct openings and other related air distribution equipment component openings shall be covered from the time of delivery at the jobsite through the construction until final start up. (CGBSC Section 5.504.3)

FINISH MATERIAL POLLUTANT CONTROL

- **Adhesives, sealants and caulks** shall meet the applicable standards of CGBSC Section 5.504.4.1 and Tables 5.504.4.1 and 5.504.4.2 for VOC limits and content prohibitions.
- **Paints and coatings** shall meet the applicable standards of CGBSC Section 504.4.3 and Table 5.504.4.3 for VOC limits.

- **Aerosol paints and coatings** shall meet the applicable standards of CGBSC Section 5.504.4.3.1.
- **Carpet systems** shall meet the applicable standards of CGBSC Section 5.504.4.4 including CGBSC Section 5.504.4.4.1 for **carpet cushions** and CGBSC Section 5.504.4.4.2 for **carpet adhesives**.
- **Resilient flooring** shall meet the applicable standards of CGBSC Section 5.504.4.6.
- **Composite wood products** shall meet the applicable standards of CGBSC Section 5.504.4.5 and Table 5.504.4.5.

ENVIRONMENTAL TOBACCO SMOKE CONTROL (CGBSC Section 5.504.7)

N/A See plan sheet _____ for designated outdoor smoking area which shows a minimum of 25 feet from building entries, outdoor ventilation intakes, and operable windows.

FILTERS (CGBC Section 5.504.5.3)

N/A Ventilation filtration (CGBSC Section 5.504.5.3) - For new HVAC systems outside and return air shall pass through filtration media having a rating of:

N/A MERV 13 or better, see plan sheet _____ for specifications.

X Equipment is existing and exempt from this requirement.

ENVIRONMENTAL COMFORT (CGBSC Section 5.507)

Exterior Noise Wall and roof assemblies making up the building envelope and exposed to the noise source as follows shall meet a composite STC rating of 50 or a composite OITC rating of 40, and exterior windows within said walls shall meet an STC of 40 or an OITC of 30.

Prescriptive Method (Using Sound Transmission Class (STC) Map - 2012 from the City's online form directory.)

X 1. A portion or the entire building is within the 65 CNEL contour for a freeway or expressway therefore exterior wall assemblies and roof or roof-ceiling assemblies shall meet the specified exterior wall assemblies and roof or roof-ceiling assemblies requirements stated above. For details and specifications see plan sheets _____.

N/A 2. A portion or the entire building is within the 65 CNEL contour for John Wayne Airport therefore exterior wall assemblies and roof or roof-ceiling assemblies shall meet the specified exterior wall assemblies and roof or roof-ceiling assemblies requirements stated above. For details and specifications see plan sheets _____.

N/A 3. The project site fronts a street identified as producing 65 CNEL contours extending beyond the right of way therefore that portion of the building that is the contour shall meet the specified exterior wall assemblies and roof or roof-ceiling assemblies requirements stated above. For details and specifications see plan sheets _____.

N/A This building is a factory, storage facility, utility building, enclosed parking structure, or stadium therefore no STC assemblies are required.

Performance Method

N/A Pursuant to CGBSC Section 5.507.4.2, site and building mitigations have been defined based on a noise study prepared by an acoustical engineer. For a summary of features see plan sheets _____. For construction details see sheets _____.

Prior to final inspection, an acoustical report shall be provided to the City Inspector which demonstrates complying interior noise sound levels. Said report shall be signed and stamped by an acoustical engineer.

Interior Sound

N/A Wall and floor-ceiling assemblies separating tenant spaces and tenant spaces and public places shall have an STC of at least 40. Note: Examples of assemblies and their various STC ratings may be found at the California Office of Noise Control at https://www.tsib.org/files/STC_IIC_Ratings.pdf. For details and specifications see plan sheets _____.

N/A No interior walls separate tenant spaces or occupant spaces and public areas.

CONSULTANT:

James A. Lastovica
teamofchoice.com Architect

1805 N 2ND ST SUITE 5285 ROGERS, AR 72756 479-636-5004 JOB NO.:33806 DESIGNED BY: CHT



Seal signature
Jul 29, 2025



SHEET TITLE:
2022 CALIFORNIA
GREEN BUILDING
STANDARD CODE

05/12/2025

REVISIONS:

No.	Description	Date
1	City Comments Rev.1	06/26/2025

JOB No.: 33806

DRAWN BY: ABR

G103

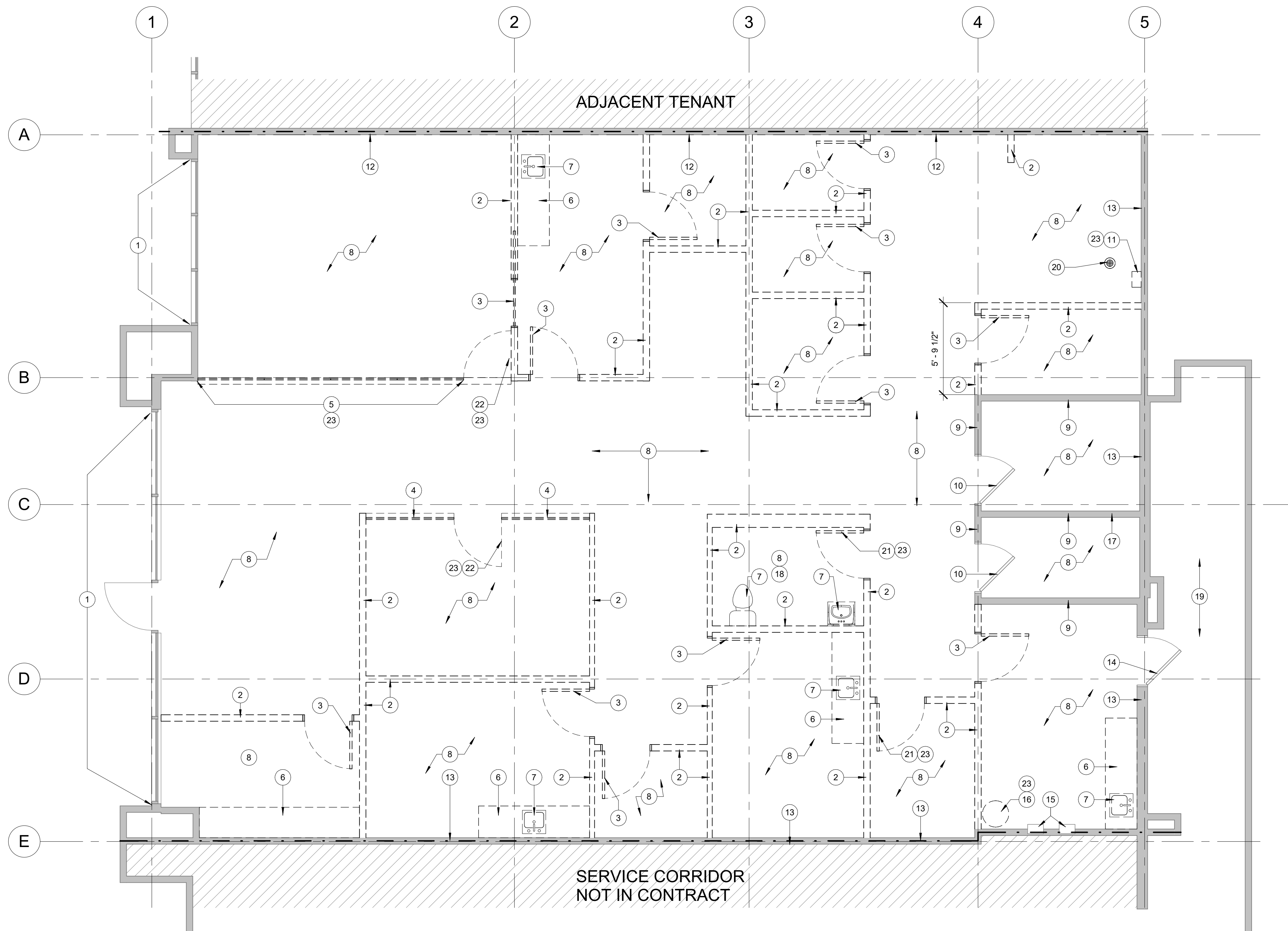
STANDARD LANDLORD NOTES. PROCEDURES AND BEST PRACTICES

THESE STANDARD NOTES ARE TO ENSURE THE DESIGN INTENT MEETS OUR CRITERIA STANDARDS WHILE ENSURING QUALITY CRAFTSMANSHIP FROM DESIGN THROUGHOUT THE CONSTRUCTION PROCESS.

TITLE PAGE		USED IN FOOD SPACES	STANDARDS
<p>•Please note that the address for the premises is the 'Complete Premises Address', as listed on the signed lease. All references in the plans must also match this address (i.e. cover sheet, title sheet, title blocks, etc.)</p> <p>•The premises square footage shown must match the amount in the Lease. Please ensure the tenant plans reflects this number "Gross Leasable Area."</p> <p>•It is Tenant's responsibility to ensure that all common area ADA site accessibility plans show the current and existing conditions including details such as ADA stall dimensions and signage.</p> <p>•The following Landlord vendors that must be used for all projects located in the Irvine Company Retail portfolio (as needed for the Tenant's proposed work). Please add the noted vendors listed below on the Tenant Improvement plan title sheet to comply with this Landlord requirement.</p> <p>Roofing Consultant (Roof Modifications/Penetrations, Roof Penetration Work Inspections/Bid All / Choose One): Westcoast Roof Consulting / Phone (714) 545-7663 Mark Beamish Waterproofing / Phone (714) 575-0018 Independent Roofing Consultants / Phone (949) 476-8626</p> <p>Roofing (Bid All / Choose One): San Marino Roofing; Brad Banks, Phone (714) 974-3070 Mesa Roofing; Wayne Wells, Phone (714) 632-6929 TSP Roof Systems; CJ Lopez, Phone (949) 379-3221 Red Pointe Roofing; Tod Fritts, Phone (714) 685-0010</p> <p>Exterior Stucco / Plaster Modifications & Repairs (Bid All / Choose One): DCS Plastering; David Hasson, Phone (714) 632-7004 or (714) 483-1125 Hitchcock Plastering; Ron Hitchcock, Phone (949) 584-5320</p> <p>Precast & GFRC Base, Trim, Columns (Bid Both / Choose One): DML; Nick Pappas, Phone (760) 530-9100 or (714) 269-0627 Formatech; George Tutunjia, Phone (818) 504-9111</p> <p>Painting at Exterior (Bid Both / Choose One): Quad County Painting; Tim Tyler, Phone (714) 253-3832 Troy's Painting; Troy Browning, Phone (949) 830-7773</p> <p>Landlord's Structural Engineer: Ficcadenfi Waggoner and Castle Structural Engineers 16969 Von Karman Ave. Suite 240, Irvine, CA 92606 email: irvine@fwsce.com T: 949-474-0502</p>		<p>Landlord recommends that Tenant General Contractor contact the Landlord's Vendor at least 14 days in advance of the projected date that the Tenant plans to open for business.</p> <ul style="list-style-type: none">•Insulation to existing underside of the roof structure for all demising walls by Tenant's general contractor.•Any security or other equipment located in the main entry area must be installed in manner that is conceal from public view. All security devices and systems shall be integrated within the storefront design and finishes. Freestanding sensor pedestals are prohibited.•Any hard lid ceilings and soffits cannot connect to the storefront below the storefront framing system.•Any non-illuminated, and/or illuminated signage cannot be place at the inside of storefront system within the premise. Signage must be installed at least 3'-0" off the inside of the storefront system.•Combo bug-eye exit light combo fixture is not allowed in areas that are visible to the public. Tenant Improvement plans and final construction must install a recessed or surface mounted clear acrylic blade exit sign at the storefront entry. See detail 3 on this sheet•All electrical runs in the open ceiling area of the Tenant premises in the front of house must be rigid conduit. The use of flex conduit is prohibited. In addition, any electrical run from the ceiling to a suspended light fixture must be hidden in a rigid sleeve.•Please note that for all "WET-AREAS" of the premise will need to incorporate water proofing methods to prevent water leakage and mold growth in or around these areas. The Tenant Improvement plans should have section details (detail developed by Tenant's Architect) keyed to wall locations.The water proofing method must meet or exceed detail 2 on this sheet. The cash wrap and/or have a screen to conceal the backs of the equipment from public view. Please revise the drawings to indicate that this design requirement is satisfied. The Tenant is required to comply with this requirement during the course of Tenant Improvement construction at the premises.•Access panels shall be installed in all ceiling areas, which may potentially require access for purposes of maintenance of mechanical or operational systems and signs. Any access panels should be specified as a Stylemark type drywall ceiling access door (InterSource Specialties Company / www.intersourceco.com). The Tenant Improvement plans must have this or a similar type of concealed drywall ceiling access panel specified in the architectural plan sheets. See detail 4 on this sheet•Track light fixtures located near/adjacent to the storefront glass must be installed within a recessed alcove at the hard lid ceiling to conceal the track fixture from view.•Please verify with city the required code compliant fire rating for premises separation walls shared with adjacent premises. It is tenant responsibility to provide code compliant fire rating at shared separation walls at tenant expense. Tenant and tenant architect will be allowed to enter the space to conduct field surveys/ studies of the existing shared walls in order to provide fire rating as required	<p>Typical Tenant Improvement Plan Submittal should include:</p> <p>A.Title Sheet B. Site Plan C. Architectural Floor Plan D. Architectural Reflected Ceiling Plan E. Architectural Section Detail Plan Sheet(s) Keyed to the Layout Plan(s) F. Architectural Roof Outline Plan with Tenant Improvement Equipment/Penetrations noted G. Interior Elevations with Section Details H. Storefront Elevations with Section Details (if applicable) I. Finish Materials Sample Board &Light Fixture specifications J. Finish Schedule K. Fixture Plan L. Demolition Plan</p> <div><div></div><div>COMMERCIAL ACCESS PANELS TR-AP009 9" x 9" 15" x 15" TR-AP012 12" x 12" 18" x 18" TR-AP018 18" x 18" 24" x 24" TR-AP024 24" x 24" 30" x 30" Order by access opening. Custom sizes available</div></div> <p>STYLEMARK ACCESS DOOR (N.T.S.) 4</p> <p>The LU Series Universal Edge-Lit Applications with a universal surface or ceiling mounting housing in one, he chevrons are field installed thus eliminating the time to determine arrow configurations</p> <div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div><div></div></div>

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 1
AD111 DEMO FLOOR PLAN
SCALE: 1/4" = 1'-0"





GENERAL DEMOLITION NOTES

- A. GENERAL NOTES ARE FOR THIS SHEET ONLY.
- B. DURING DEMOLITION, IF CONDITIONS ARE REVEALED THAT MAY JEOPARDIZE THE INTEGRITY OF THE STRUCTURE OR PRECLUDE FOLLOWING DESIGN INTENT, GC TO NOTIFY ARCHITECT AND CONSTRUCTION MANAGER IMMEDIATELY.
- C. GC RESPONSIBLE FOR SITE INVESTIGATION PRIOR TO DEMOLITION TO REVEAL FULL SCOPE OF WORK.
- D. GC SHALL REVIEW ALL EXTERIOR WALLS, STOREFRONTS, DOORS AND WINDOWS TO ENSURE THAT THE LANDLORD MEETS THE REQUIREMENTS OF THE WORK LETTER. REVIEW THE CONDITIONS OF ALL EXISTING STUDS, INSULATION, AND GYP BD AS DEFINED BY THE WORK LETTER. IMMEDIATELY NOTIFY CONSTRUCTION MANAGER OF ANY DISCREPANCIES.
- E. DEMOLITION MEANS REMOVAL AND OFF-SITE LEGAL DISPOSAL OF DEMOLISHED MATERIALS. REMAINING SURFACES TO BE RESTORED TO ACCEPTABLE CONDITION IN ACCORDANCE WITH REQUIREMENTS OF NEW CONSTRUCTION.
- F. CONTRACTOR TO INSPECT EXISTING PREMISES FOR WATER LEAKS AND IS TO REPORT TO CLIENT PRIOR TO COMMENCEMENT AND REPAIR.
- G. CONTRACTOR IS TO REPORT ANY SIGNS OF ASBESTOS TO THE OWNER FOR REMOVAL AT THE OWNERS EXPENSE AND RESPONSIBILITY.
- H. CONTRACTOR IS TO RESTORE ALL DAMAGED OR REMOVED FIREPROOFING TO STRUCTURAL ELEMENTS AS A RESULT OF DEMOLITION.
- I. CONTRACTOR IS TO PROVIDE UNENCUMBERED ACCESS TO ANY ADJACENT TENANT SPACE WHILE PERFORMING DEMOLITION WORK.
- J. TOTAL SCOPE OF DEMOLITION MAY NOT BE COVERED ON THIS SHEET. REVIEW ALL SHEETS IN THIS DRAWING SET TO DETERMINE TOTAL SCOPE OF WORK.
- K. ALL EXISTING CONSTRUCTION MATERIALS INCLUDING BUT NOT LIMITED TO DOORS, DOOR FRAMES, HARDWARE, MECHANICAL AND ELECTRICAL COMPONENTS, LIGHT FIXTURES, COMMUNICATION CABLING, SECURITY SYSTEMS SHOULD BE REUSED WHEREVER POSSIBLE. PROTECT ITEMS TO BE SALVAGED FOR REUSE FROM DAMAGE. ALL SALVAGED ITEMS NOT USED IN THE IMMEDIATE CONSTRUCTION SHOULD BE MADE AVAILABLE TO BUILDING OWNER FOR STORAGE.
- L. PROTECT WALLS, EQUIPMENT, FLOORS AND OTHER EXISTING FINISHES THAT ARE TO REMAIN AND ARE EXPOSED DURING SELECTIVE DEMOLITION.
- M. GC TO VERIFY CONDITION AND CONSTRUCTION OF FOUNDATION (XRAY) PRIOR TO TRENCHING. NOTIFY CONSTRUCTION MANAGER AND ARCHITECT WITH DISCREPANCIES.
- N. CONDUCT DEMOLITION OPERATION AND REMOVE DEBRIS TO ENSURE MINIMAL INTERFERENCE WITH ROADS, STREETS, WALKS AND OTHER OCCUPIED AND USED FACILITIES. DEMOLITION WILL BE DONE AFTER CORE WORKING HOURS OR AT OWNERS DISCRETION AFFECTED AREAS TO BE KEPT CLEAN DURING WORKING HOURS AND AT THE END OF EACH DAY SWEEP CLEAN OF DEBRIS, TRASH, AND ETC.
- O. PROTECT EXISTING UTILITIES TO REMAIN AGAINST ANY DAMAGE DURING SELECTIVE DEMOLITION.
- P. REMOVE AND TRANSPORT DEBRIS IN A MANNER THAT WILL PREVENT SPILLAGE ON ADJACENT SURFACES AND AREAS.
- Q. REMOVE ALL UNSALVAGEABLE MATERIALS FROM SITE. PROMPTLY DISPOSE OF DEMOLISHED MATERIALS. DO NOT ALLOW DEMOLISHED MATERIAL TO ACCUMULATE ON SITE. TRANSPORT DEMOLISHED MATERIALS OFF OWNER'S PROPERTY AND LEGALLY DISPOSE OF THEM.
- R. ALL EXISTING WALLS TO BE DEMOLISHED ARE TO BE DEMOLISHED TO DECK. REMOVE ALL ATTACHED ELECTRICAL COMPONENTS.
- S. CONTRACTOR SHALL PROVIDE SHORING PRIOR TO WALL DEMOLITION AND / OR WHERE REQUIRED.
- T. ALL WORK TO COMPLY WITH BUILDING STANDARD SPECS. FOR TENANT IMPROVEMENTS. ALL WORK SHALL COMPLY WITH ALL APPLICABLE CODES, LAWS AND REGULATIONS.
- U. REMOVE ALL ABANDONED CONDUIT AND WIRING BACK TO EXISTING PANELS, UON.
- V. DISCONNECT EXISTING MECHANICAL PLUMBING, AND /OR ELECTRICAL EQUIPMENT TO BE REMOVED FROM THE BUILDING AT THE SOURCE.
- W. REMOVE SERVICE CONNECTIONS AND CAP OR PLUG IN CONFORMITY WITH LOCAL LAWS AND ORDINANCE. REQUIREMENTS OF PUBLIC UTILITY COMPANIES, AND OF THE NATIONAL BOARD OF UNDERWRITERS. DO NOT INTERFERE WITH THE USE OF OTHER OCCUPIED SPACES IN THE BUILDING.
- X. CAP OR PLUG EXISTING WATER, SEWER, OR SIMILAR UTILITIES TO BE ABANDONED AS NECESSARY. ALL WORK SHALL COMPLY TO CURRENT CODES.
- Y. REMOVE EXISTING TELEPHONE AND ELECTRICAL OUTLETS AND CAP OFF AT THE NEAREST JUNCTION BOX AS REQUIRED BY THE REMOVAL OF AN EXISTING WALL PARTITION. EXISTING OUTLETS TO REMAIN UNLESS NOTED OTHERWISE.
- Z. REMOVE ANY EXISTING ELECTRICAL, MECH DUCTWORK, PLUMBING FIXTURES, PIPES AND ETC., THAT ARE ABANDONED AND NOT REQUIRED FOR NEW CONSTRUCTION.
- AA. DEMOLISH ALL EXISTING ELECTRICAL SWITCHES/OUTLETS PER WALLS BEING DEMOLISHED. COORDINATE WITH NEW LAYOUT FOR LOCATION. ANY/ALL NOT USED ARE TO BE REMOVED TO THE PANEL.
- BB. HVAC TEST AND BALANCE WITH START UP. TO BE PERFORMED AND RESULTING REPORT TO BE SUBMITTED TO ARCHITECT FOR REVIEW.
- CC. DEMO HVAC AS NEEDED IN COORDINATION WITH NEW LAYOUT REQUIREMENTS.
- DD. DO NOT SCALE DRAWINGS.

KEYED NOTES

- 1 EXISTING STOREFRONT TO REMAIN
- 2 REMOVE EXISTING PARTITION WALL AND ANY ASSOCIATED PIPING AND ELECTRICAL CONDUIT
- 3 REMOVE EXISTING DOOR AND FRAME
- 4 REMOVE EXISTING PARTIAL HEIGHT WALL AND WINDOW
- 5 SAVE EXISTING GLAZING FOR POSSIBLE RELOCATION
- 6 REMOVE EXISTING CASEWORK
- 7 REMOVE EXISTING PLUMBING FIXTURE AND ALL ASSOCIATED WATER LINES, DRAIN LINES AND VENTS
- 8 REMOVE EXISTING FLOOR FINISH, PREPARE SURFACE FOR NEW CONSTRUCTION
- 9 EXISTING WALL TO REMAIN
- 10 EXISTING DOOR TO REMAIN
- 11 EXISTING ELECTRICAL PANEL TO BE RELOCATED, SEE ELECTRICAL DRAWINGS
- 12 EXISTING 1 HR FIRE RATED DEMISING WALL TO REMAIN
- 13 EXISTING EXTERIOR WALL TO REMAIN
- 14 EXISTING REAR DOOR AND FRAME TO REMAIN
- 15 EXISTING ELECTRICAL PANELS TO REMAIN
- 16 EXISTING WATER HEATER TO BE RELOCATED. REFER TO PLUMBING DRAWINGS
- 17 REMOVE EXISTING SHOWER HEAD AND ALL RELATED ACCESSORIES.
- 18 REMOVE ALL EXISTING RESTROOM ACCESSORIES
- 19 EXISTING REAR SIDEWALK. NO WORK IN THIS AREA
- 20 REMOVE EXISTING FLOOR DRAIN. CAP OFF DRAIN.
- 21 EXISTING DOOR TO BE RELOCATED IN NEW LOCATION. REFER TO FLOOR PLAN
- 22 SAVE EXISTING GLAZING DOOR FOR POSSIBLE RELOCATION. REFER TO FLOOR PLAN
- 23 ALL POTENTIAL REUSE OF EXISTING MATERIAL/SYSTEMS TO BE IN GOOD CONDITION OTHERWISE MUST BE REPLACED NEW

DEMOLITION LEGEND

-  EXISTING WALL TO REMAIN
-  EXISTING WALL TO BE DEMOLISHED

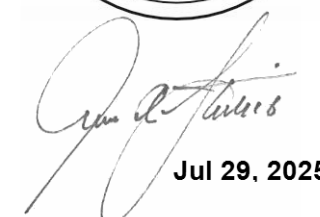
CONSULTANT:


James A. Lastovica
teamofchoice.com Architect

1805 N 2ND ST 479-636-5004
SUITE 5285 JOB NO.:33806
ROGERS, AR 72756 DESIGNED BY: CHT



SEAL:


Jul 29, 2025



THE LITTLE GYM IRVINE
3992D BARRANCA PARKWAY
IRVINE, CA 92606

SHEET TITLE:
ARCHITECTURAL
DEMOLITION FLOOR
PLAN

05/12/2025

REVISIONS:

No.	Description	Date
1	City Comments Rev.1	06/26/2025

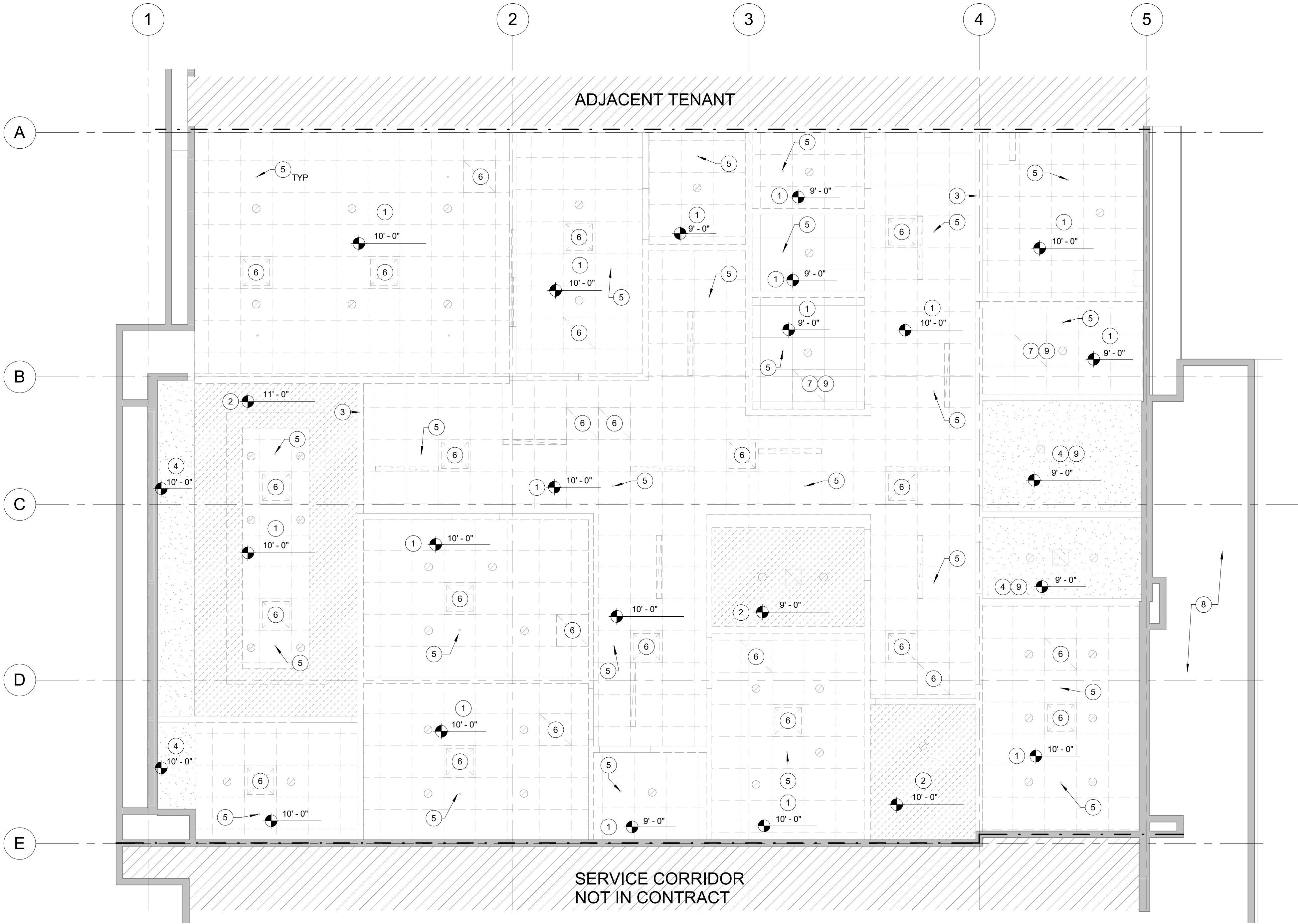
JOB No.: 33806

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AD112
ARCHITECTURAL DEMOLITION REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"



GENERAL DEMOLITION NOTES

- A. GENERAL NOTES ARE FOR THIS SHEET ONLY.
- B. DURING DEMOLITION, IF CONDITIONS ARE REVEALED THAT MAY JEOPARDIZE THE INTEGRITY OF THE STRUCTURE OR PRECLUDE FOLLOWING DESIGN INTENT, GC TO NOTIFY ARCHITECT AND CONSTRUCTION MANAGER IMMEDIATELY.
- C. GC RESPONSIBLE FOR SITE INVESTIGATION PRIOR TO DEMOLITION TO REVEAL FULL SCOPE OF WORK.
- D. DEMOLITION MEANS REMOVAL AND OFF-SITE LEGAL DISPOSAL OF DEMOLISHED MATERIALS. REMAINING SURFACES TO BE RESTORED TO ACCEPTABLE CONDITION IN ACCORDANCE WITH REQUIREMENTS OF NEW CONSTRUCTION.
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- O. REMOVE AND TRANSPORT DEBRIS IN A MANNER THAT WILL PREVENT SPILLAGE ON ADJACENT SURFACES AND AREAS.
- P. REMOVE ALL UNSALVAGEABLE MATERIALS FROM SITE. PROMPTLY DISPOSE OF DEMOLISHED MATERIALS. DO NOT ALLOW DEMOLISHED MATERIAL TO ACCUMULATE ON SITE. TRANSPORT DEMOLISHED MATERIALS OFF OWNER'S PROPERTY AND LEGALLY DISPOSE OF THEM.
- Q. ALL EXISTING WALLS TO BE DEMOLISHED ARE TO BE DEMOLISHED TO DECK. REMOVE ALL ATTACHED ELECTRICAL COMPONENTS.
- R. CONTRACTOR SHALL PROVIDE SHORING PRIOR TO WALL DEMOLITION AND / OR WHERE REQUIRED.
- S. ALL WORK TO COMPLY WITH BUILDING STANDARD SPECS. FOR TENANT IMPROVEMENTS. ALL WORK SHALL COMPLY WITH ALL APPLICABLE CODES, LAWS AND REGULATIONS.
- T. REMOVE ALL ABANDONED CONDUIT AND WIRING BACK TO EXISTING PANELS. UON. DISCONNECT EXISTING MECHANICAL, PLUMBING, AND/OR ELECTRICAL EQUIPMENT TO BE REMOVED FROM THE BUILDING AT THE SOURCE.
- V. REMOVE SERVICE CONNECTIONS AND CAP OR PLUG IN CONFORMITY WITH LOCAL LAWS AND ORDINANCE. REQUIREMENTS OF PUBLIC UTILITY COMPANIES, AND OF THE NATIONAL BOARD OF UNDERWRITERS. DO NOT INTERFERE WITH THE USE OF OTHER OCCUPIED SPACES IN THE BUILDING.
- W. CAP OR PLUG EXISTING WATER, SEWER, OR SIMILAR UTILITIES TO BE ABANDONED AS NECESSARY. ALL WORK SHALL COMPLY TO CURRENT CODES.
- X. REMOVE EXISTING TELEPHONE AND ELECTRICAL OUTLETS AND CAP OFF AT THE NEAREST JUNCTION BOX AS REQUIRED BY THE REMOVAL OF AN EXISTING WALL PARTITION. EXISTING OUTLETS TO REMAIN UNLESS NOTED OTHERWISE.
- Y. REMOVE ANY EXISTING ELECTRICAL, MEP, DUCTWORK, PLUMBING FIXTURES, PIPES AND ETC., THAT ARE ABANDONED AND NOT REQUIRED FOR NEW CONSTRUCTION.
- Z. DEMOLISH ALL EXISTING ELECTRICAL SWITCHES/OUTLETS PER WALLS BEING DEMOLISHED. COORDINATE WITH NEW LAYOUT FOR LOCATION. ANY/ALL NOT USED ARE TO BE REMOVED TO THE PANEL.
- AA. HVAC TEST AND BALANCE WITH START UP. TO BE PERFORMED AND RESULTING REPORT TO BE SUBMITTED TO ARCHITECT FOR REVIEW.
- BB. DEMO HVAC AS NEEDED IN COORDINATION WITH NEW LAYOUT REQUIREMENTS.
- CC. DO NOT SCALE DRAWINGS.

KEYED NOTES

- 1 REMOVE EXISTING ACT CEILING AND LIGH TFXITURES
- 2 REMOVE EXISTING GYP BD CEILING AND LIGHT FIXTURES
- 3 REMOVE EXISTING BULKHEAD
- 4 EXISTING GYP BD CEILING TO REMAIN
- 5 EXISTING SPRINKLER HEAD. FINAL LOCATION TO BE DETERMINED BY OTHERS UNDER SEPARATE PERMIT
- 6 REMOVE EXISTING HVAC DIFFUSER/RETURN GRILLE
- 7 EXISTING HVAC CASSETTES TO BE RELOCATED. REFERENCE MECHANICAL FOR NEW LOCATION
- 8 REAR SIDEWALK, OPEN CEILING. NO WORK IN THIS AREA
- 9 ALL POTENTIAL REUSE OF EXISTING MATERIAL/SYSTEMS TO BE IN GOOD CONDITION OTHERWISE MUST BE REPLACED NEW

RCP DEMOLITION LEGEND

- EXISTING WALL TO REMAIN
- EXISTING ACOUSTIC CEILING TO BE DEMOLISHED
- EXISTING GYP BD CEILING TO REMAIN
- EXISTING GYP BD CEILING TO BE DEMOLISHED

CONSULTANT:

James A. Lastovica
teamofchoice.com Architect

1805 N 2ND ST SUITE 5285 ROGERS, AR 72756 479-636-5004 JOB NO.:33806 DESIGNED BY: CHT



SEAL:

Jul 29, 2025

THE LITTLE GYM IRVINE
3992D BARRANCA PARKWAY
IRVINE, CA 92606

SHEET TITLE:
ARCHITECTURAL
DEMOLITION
REFLECTED CEILING
PLAN
05/12/2025

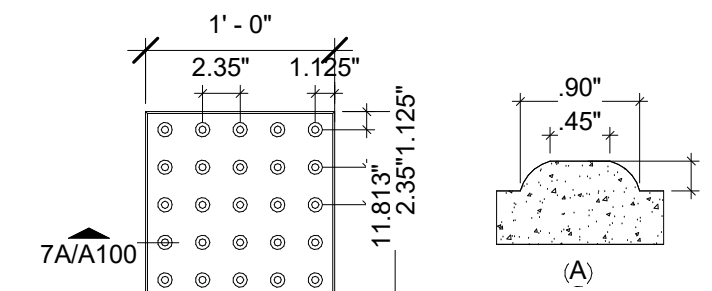
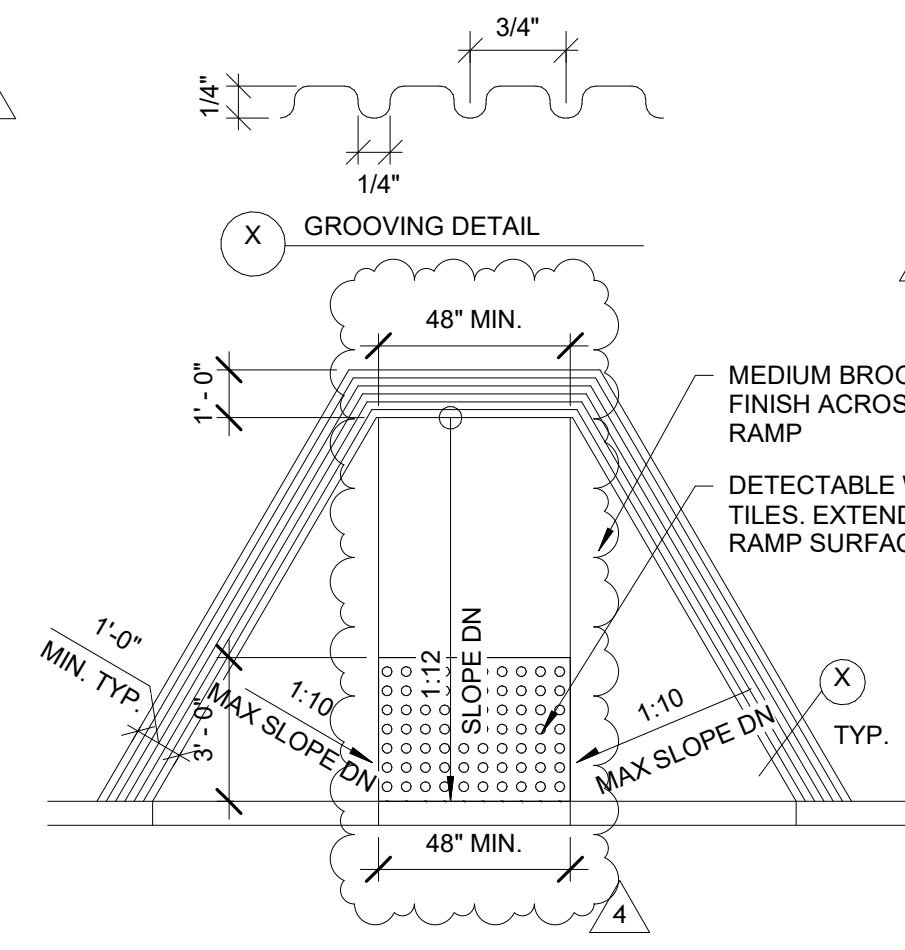
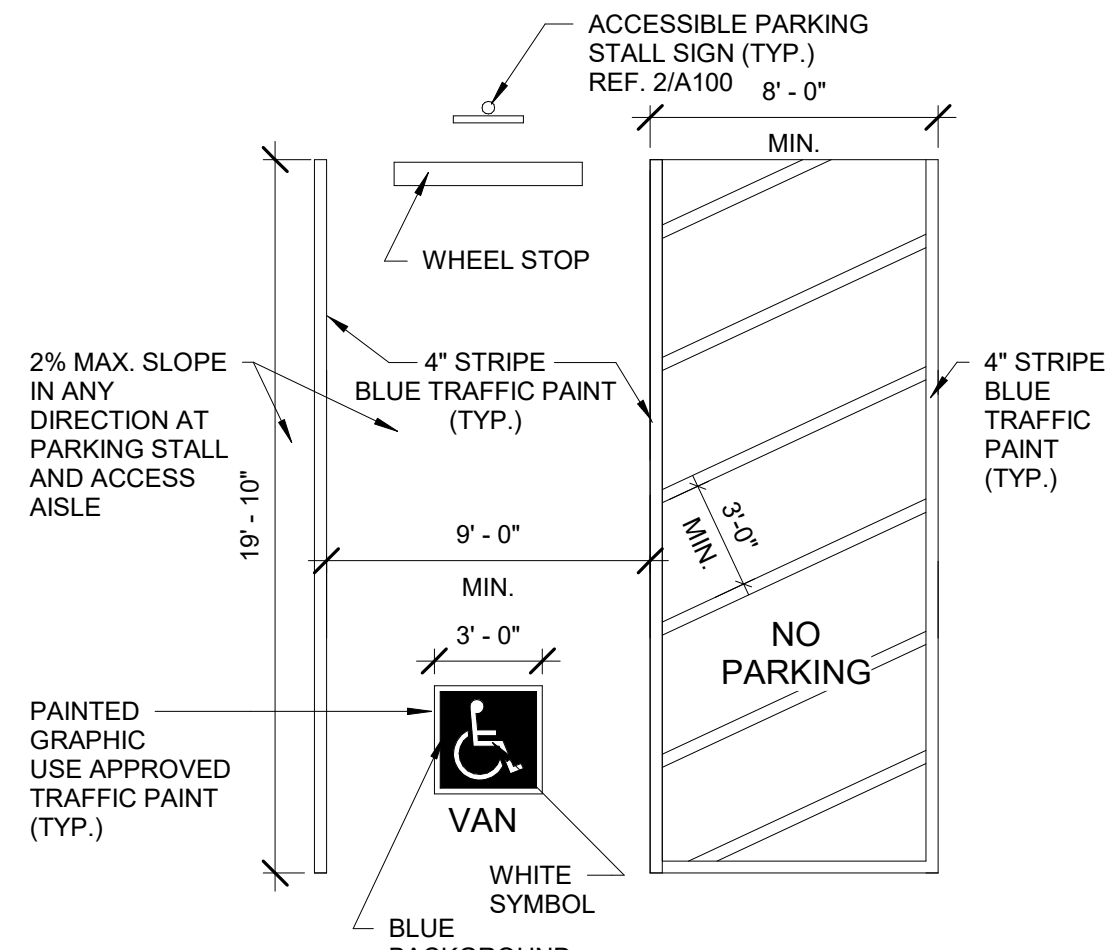
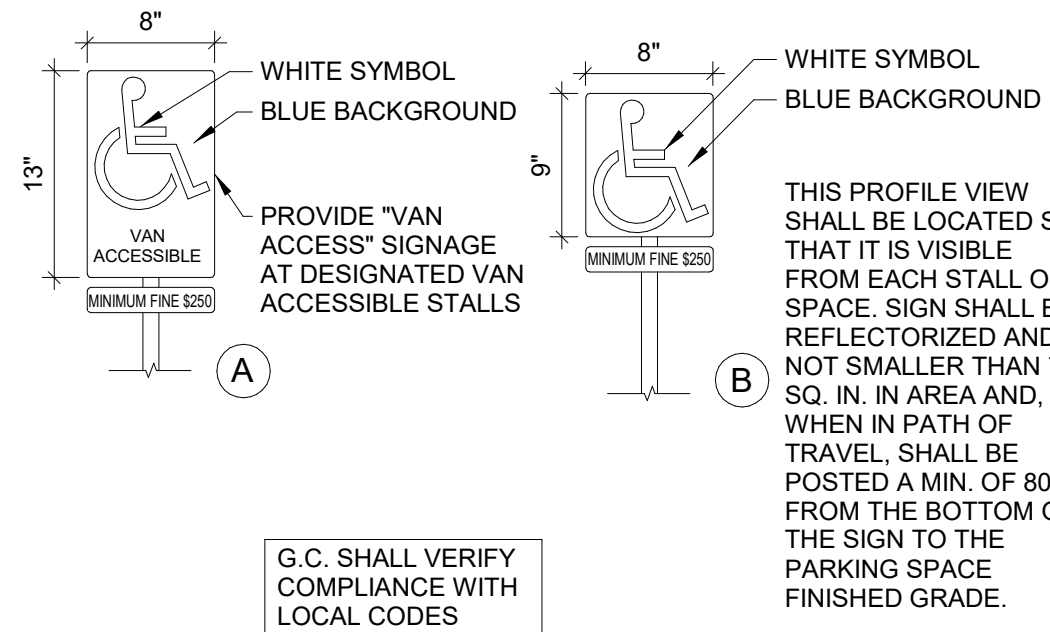
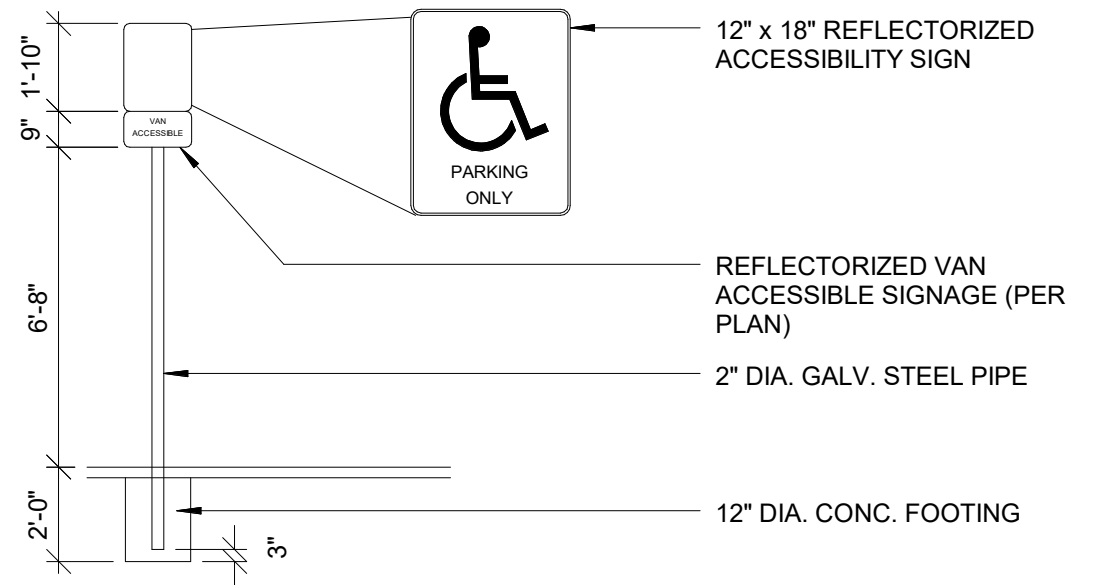
REVISIONS:

No.	Description	Date
1	City Comments Rev.1	06/26/2025

JOB No.: 33806

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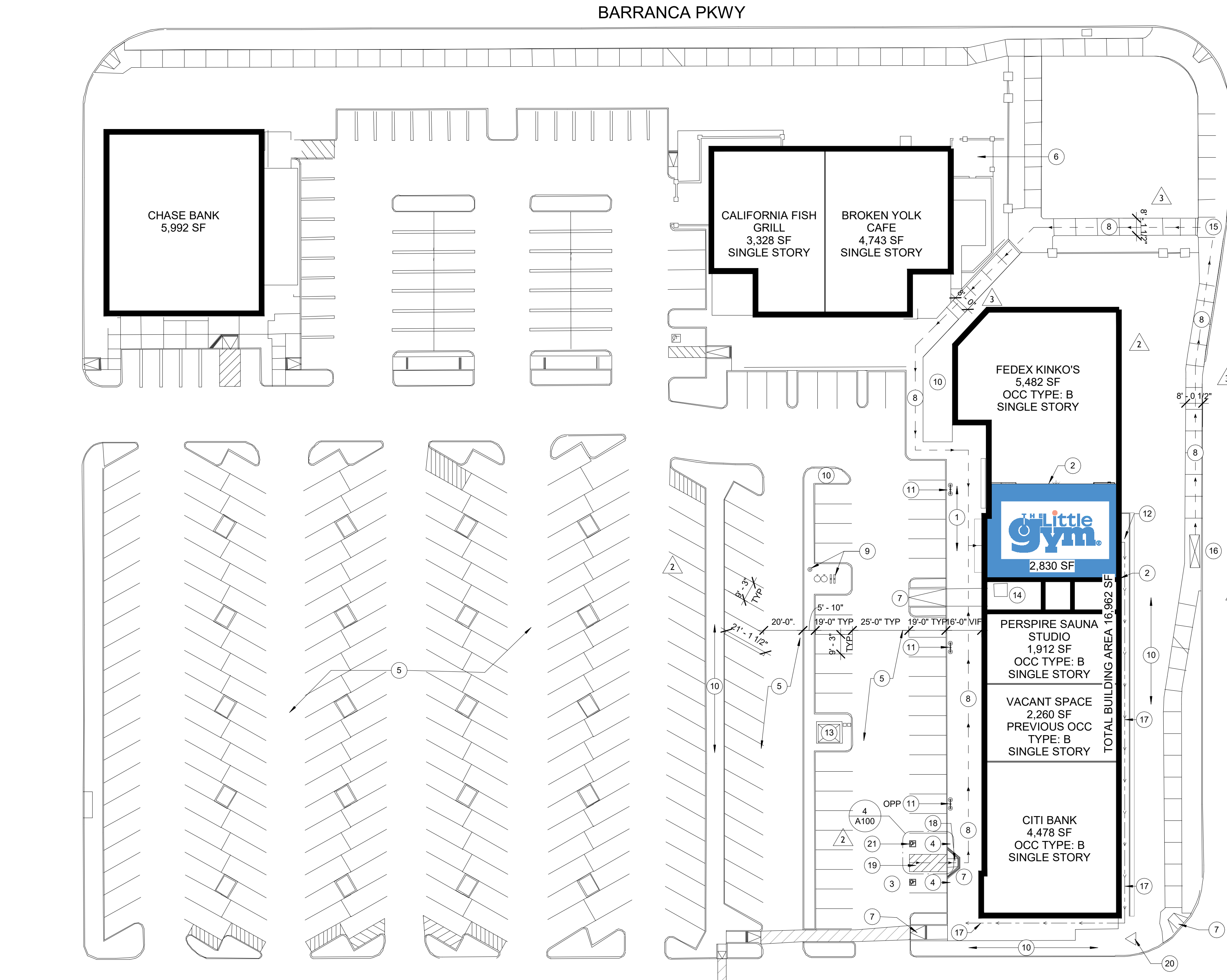
2 ACCESSIBLE SIGNAGE DETAIL
A100 SCALE: 1/4" = 1'-0"

3 ACCESSIBLE SIGNAGE DETAIL
A100 SCALE: 3/16" = 1'-0"

4 ACCESSIBLE PARKING
A100 SCALE: 3/16" = 1'-0"

5 RAMP/GROOVING DETAIL
A100 SCALE: 1/4" = 1'-0"

6 TRUNCATED DOMES DETAIL
A100 SCALE: 1" = 1'-0"



1 SITE PLAN
A100 SCALE: 1" = 30'-0"

SITE PLAN NOTES

- GC TO NOTIFY ARCHITECT IMMEDIATELY WHEN THERE IS A CONFLICT AND/OR DISCREPANCY.
- ARCHITECTURAL SITE PLAN IS TO BE USED FOR REFERENCE ONLY.
- ALL SIGNAGE TO BE PERMITTED UNDER SEPARATE PERMIT.
- SIGNAGE CONTRACTOR SHALL VERIFY SIZE AND LOCATION OF ANY AND ALL ALLOWABLE SIGNAGE WITH BUILDING OWNER AND/OR AHJ.
- SIGNAGE CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR APPROVAL, PRIOR TO FABRICATION.
- REFER TO MEP DRAWINGS FOR COORDINATION.
- GC TO FAMILIARIZE WITH EXISTING CONDITIONS AND DIMENSIONS AND ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS PRIOR TO ANY WORK.
- EXISTING SITE TO REMAIN AS-IS, UNO.
- GC TO FIELD VERIFY ALL EXISTING CONDITIONS TO NEW CONSTRUCTION
- DO NOT SCALE DRAWINGS.

ACCESSIBILITY NOTES

EXTERIOR ROUTE

AN ACCESSIBLE ROUTE, IN THE DIRECTION OF TRAVEL, SHALL NOT HAVE A SLOPE EXCEEDING 1:20 (5/8" PER FOOT) EXCEPT AT A RAMP.

AN ACCESSIBLE ROUTE CROSS SLOPE SHALL NOT EXCEED 1:50 (1/4" PER FOOT).

ALL NEW PAVING AND WALKS FOR AN ACCESSIBLE ROUTE, SHALL NOT HAVE AN ABRUPT CHANGE IN SURFACE LEVEL (VERTICALLY) GREATER THAN 1/4" WHEN ABUTTING EITHER EXISTING OR OTHER NEW SURFACES DESIGNATED FOR AN ACCESSIBLE ROUTE.

AN ACCESSIBLE ROUTE CROSSING OR PARALLELING A HAZARDOUS AREA, SHALL BE CLEARLY MARKED IN A CONTRASTING COLOR, WITH THE ROUTE LOCATION, MARKING MATERIALS AND COLOR SHOWN ON THE DRAWING.

ANY GRATINGS THAT ARE CONSTRUCTED IN THE SURFACE OF AN ACCESSIBLE ROUTE SHALL HAVE THE OPENINGS RUNNING PERPENDICULAR TO THE DIRECTION OF TRAVEL WITH THE OPENINGS DIMENSION NOT TO EXCEED 1/2" IN THE DIRECTION OF TRAVEL.

CURB RAMPS

EXISTING RAMPS SHALL COMPLY WITH CURRENT APPLICABLE CODES (CBC2022 11B-406). THE TOP AND BOTTOM OF THE RAMP, AT THE TRANSITION TO EITHER EXISTING OR NEW SURFACES, SHALL BE FLUSH AND FREE OF ANY ABRUPT VERTICAL CHANGES.

THE SURFACE FINISH OF THE RAMP, EITHER RAISED OR RECESSED AS PERMITTED BY ACCESSIBILITY CODES AND GUIDELINES, SHALL BE INSTALLED TO PERMIT WATER DRAINAGE.

THE RAMP CROSS SLOPE SHALL NOT EXCEED 1:50 (1/4" PER FOOT).

SIGNAGE

1. ALL ACCESSIBLE PARKING SPACES AND PUBLIC ENTRANCES SHALL BE DESIGNATED WITH THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SIGNAGE IN ADDITION TO ANY OTHER SIGNAGE REQUIRED FOR ACCESSIBILITY. THIS SIGNAGE SHALL MEET ACCESSIBILITY REQUIREMENTS FOR COLOR/CONTRAST AND LOCATION.

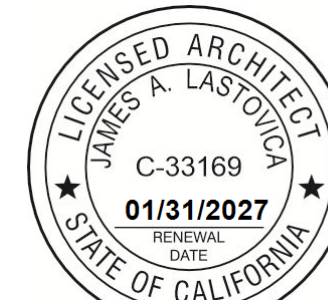
KEYED NOTES

- EXISTING CONCRETE SIDEWALK.
- TENANT LEASE LINE
- EXISTING ACC. PARKING. GC TO PROVIDE IF REQUIRED. SEE DETAIL 4/A100
- EXISTING ACC. PARKING SIGNS. GC TO PROVIDE IF REQUIRED. SEE DETAIL 2 & 3/A100
- EXISTING MALL PARKING.
- APPROXIMATE LOCATION OF TRASH ENCLOSURE
- EXISTING RAMP. GC TO VERIFY EXISTING CONDITIONS COMPLY WITH CBC 2022 11B-406, UPDATE IF NEEDED. SEE DETAIL 5/A100.
- ACCESSIBLE PATH OF TRAVEL. GC TO CONFIRM NO ABRUPT CHANGES IN ELEVATION ALONG THE PATH OF TRAVEL SHOWN. ACCESSIBLE PATH OF TRAVEL DOES NOT EXCEED 5% IN THE DIRECTION OF TRAVEL AND 2% CROSS SLOPE. INSPECTOR TO VERIFY.
- EXISTING FIRE HYDRANT AND MAIN FIRE LINE CONTROL AND FDC SERVE
- EXISTING LANDSCAPING.
- EXISTING SITE LIGHTS
- REAR SERVICE CORRIDOR
- EXISTING ELECTRICAL TRANSFORMER
- FIRE SPRINKLER ROOM
- PUBLIC RIGHT OF WAY
- BUS STOP
- REAR DOOR PATH OF TRAVEL
- GC SHALL VERIFY EXISTING CONFORMING CURB RAMP ALONG PATH OF TRAVEL FROM ACCESSIBLE PARKING SPACE AND PUBLIC RIGHT OF WAY. GC SHALL VERIFY TRUNCATED DOMES. REF DETAIL THIS SHEET FOR COMPLIANCE.
- GC SHALL VERIFY EXISTING ACCESSIBLE LOADING AREA DETAIL THIS SHEET FOR COMPLIANCE.
- EXISTING WARNING SIGN AT ENTRANCE OF PARKING AREA FROM THE STREET REGARDING UNAUTHORIZED VEHICLES USING ACCESSIBLE SPACES.
- EXISTING VAN ACCESSIBLE PARKING

CONSULTANT:

James A. Lastovica
teamofchoice.com Architect

1805 N 2ND ST SUITE 5285 ROGERS, AR 72756 479-636-5004 JOB NO.:33806 DESIGNED BY: CHT



SEAL:

THE LITTLE GYM IRVINE
3992D BARRANCA PARKWAY
IRVINE, CA 92606

SHEET TITLE:
SITE PLAN

05/12/2025

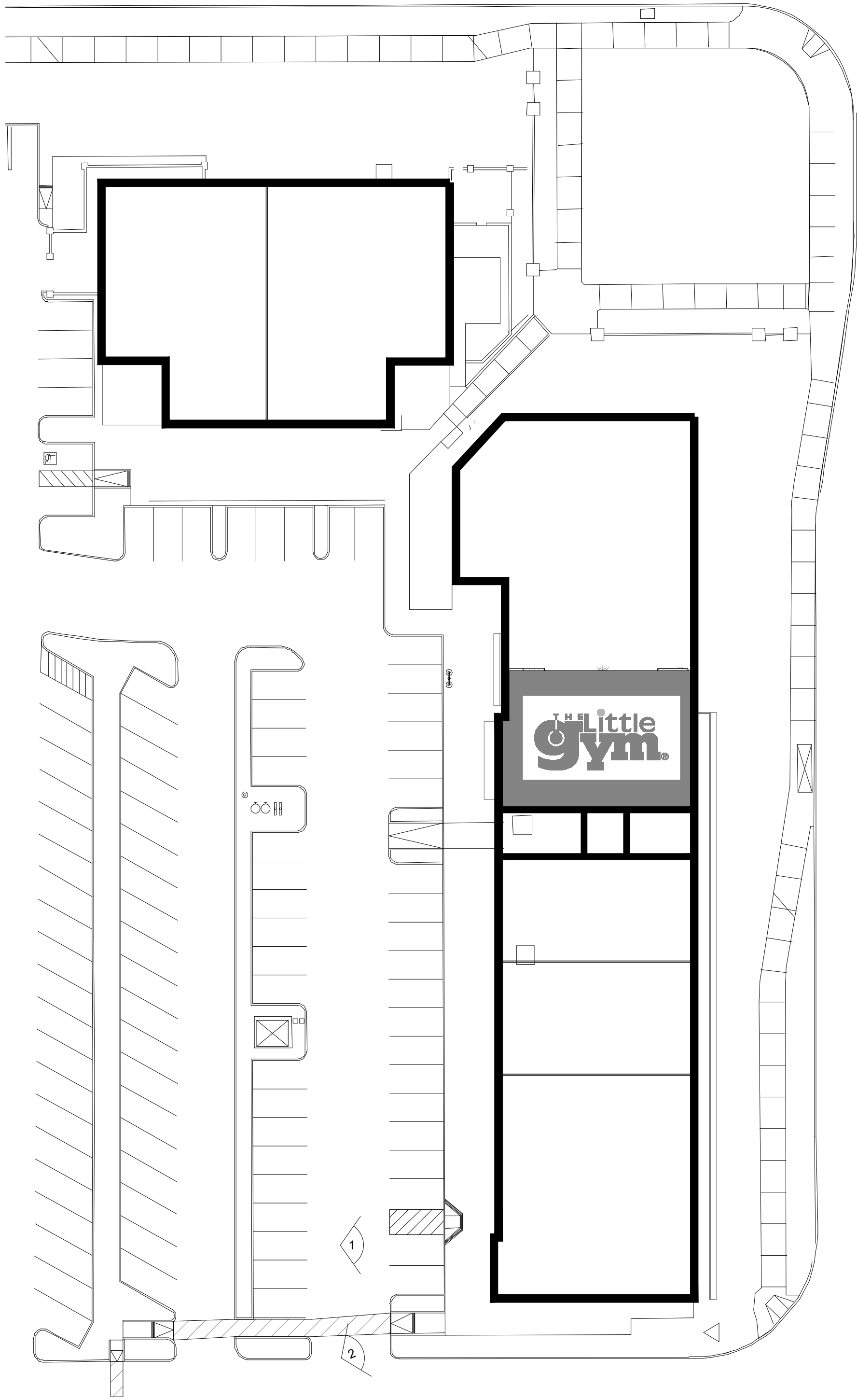
REVISIONS:

No.	Description	Date
1	City Comments Rev.1	06/26/2025
2	City Comments Rev.2	07/29/2025
3	City Comments Rev.3	09/17/2025
4	City Comments Rev.4	10/03/2025

JOB No.: 33806

DRAWN BY: ABR

A100



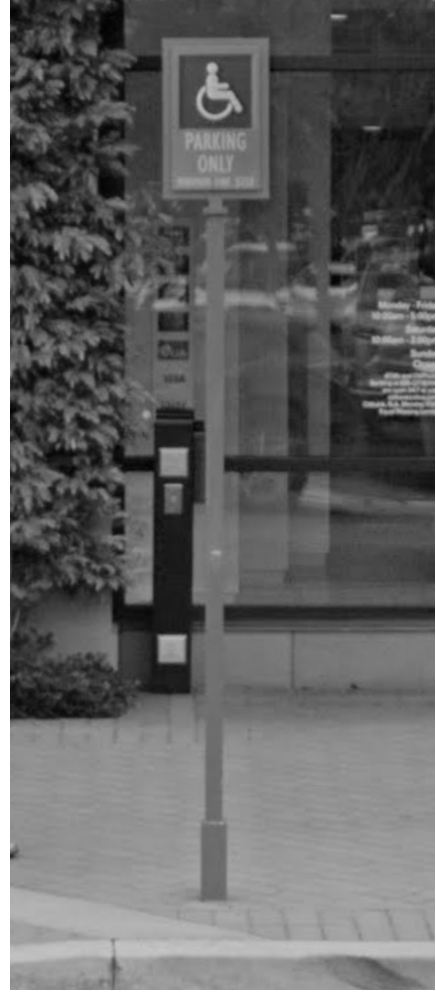
NOTE:
SITE CONDITIONS
ARE EXISTING TO
REMAIN AS IS.
NO EXTERIOR WORK
IN SCOPE.
SITE PLAN SHOWN
FOR REFERENCE
ONLY



1
1 EXISTING VAN ACCESSIBLE PARKING STALL
+1 EXISTING ACCESSIBLE PARKING STALL



EXISTING VAN ACCESSIBLE PARKING SIGN



EXISTING ACCESSIBLE PARKING SIGN



EXISTING ACCESSIBLE RAMP
WITH TRUNCATED DOMES

2
A101 EXISTING SITE COND
SCALE: 1/8" = 1'-0"



2
EXISTING RAMP

1
A101 SITE PLAN Copy 1
SCALE: 1" = 30'-0"
BARRANCA PKWY

CONSULTANT:

James A. Lastovica
teamofchoice.com Architect

1805 N 2ND ST SUITE 5285 ROGERS, AR 72756 479-636-5004 JOB NO.:33806 DESIGNED BY: CHT



Seal of James A. Lastovica
Jul 29, 2025

SEAL:

THE little gym
THE LITTLE GYM IRVINE
3992D BARRANCA PARKWAY
IRVINE, CA 92606

SHEET TITLE:
SITE PLAN EXISTING
CONDITIONS

05/12/2025

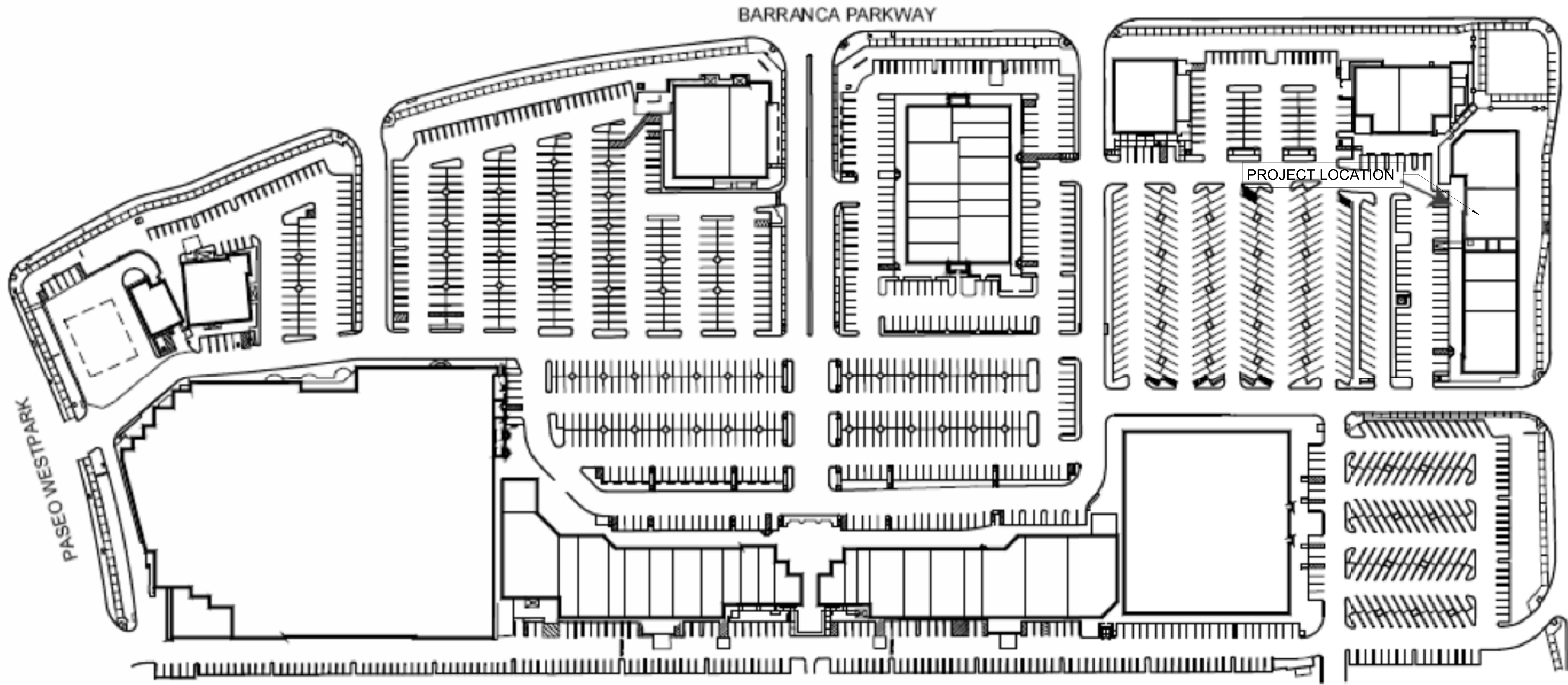
REVISIONS:

No.	Description	Date
2	City Comments Rev.2	07/29/2025

JOB No.: 33806

DRAWN BY: ABR

A101



1 OVERALL SHOPPING CENTER PLAN
A102 SCALE: NOT TO SCALE

CONSULTANT:

James A. Lastovica
teamofchoice.com Architect

1805 N 2ND ST SUITE 5285 ROGERS, AR 72756 479-636-5004 JOB NO.:33806 DESIGNED BY: CHT



Seal: [Signature] Jul 29, 2025

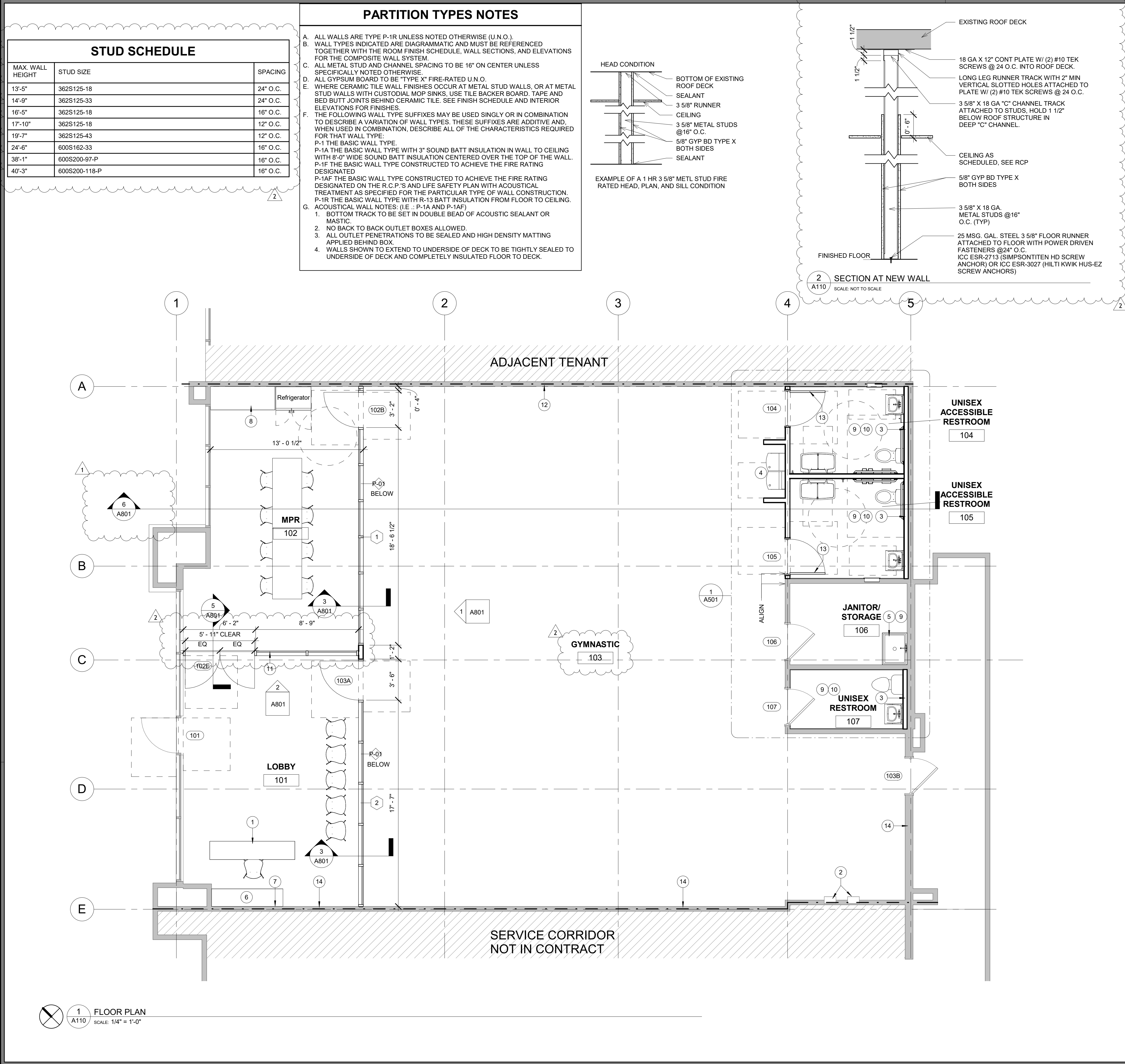
THE Little Gym®
THE LITTLE GYM IRVINE
3992D BARRANCA PARKWAY
IRVINE, CA 92606

SHEET TITLE:
ENTIRE SHOPPING
CENTER LAYOUT-
FOR REFERENCE
ONLY
05/12/2025

REVISIONS:		
No.	Description	Date
2	City Comments Rev 2	07/29/2025

JOB No.: 33806
DRAWN BY: ABR

A102 2



GENERAL NOTES

- A. GC TO NOTIFY ARCHITECT IMMEDIATELY WHEN THERE IS A CONFLICT AND/OR DISCREPANCY.
- B. ALL DIMENSIONS ARE TO FACE OF FINISH.
- C. GC TO FAMILIARIZE WITH EXISTING CONDITIONS AND DIMENSIONS AND ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS PRIOR TO ANY WORK.
- D. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING FIELD CONDITIONS WITH THE DRAWINGS, PRIOR TO CONSTRUCTION AND/OR INSTALLATION OF ANY EQUIPMENT, ACCESSORIES, ETC. IN PARTICULAR OVERALL WALL DIMENSIONS, SOIL CONDITIONS, INCOMING UTILITIES, ETC. THE GENERAL CONTRACTOR IS TO REPORT IMMEDIATELY TO THE ARCHITECT, ANY VARIANCES OR FIELD CONDITIONS THAT MAY CAUSE CONSTRUCTION PROBLEMS PRIOR TO COMMENCING WORK.
- E. GENERAL CONTRACTOR IS RESPONSIBLE TO VERIFY, COORDINATE, AND COMPLY WITH ALL AHJ REQUIREMENTS FOR THE CENTER/DEVELOPMENT INCLUDING, BUT NOT LIMITED TO BARRICADES, STAGING, USE OF OWNER MANDATED SUBCONTRACTORS, DEBRIS REMOVAL, RESTRICTED HOURS, SECURITY, ETC. EXISTING TO REMAIN AS-IS, UNO.
- F. PATCH AND REPAIR ALL EXISTING GYP. BD. WALLS REMAINING AFFECTED BY NEW CONSTRUCTION.
- G. ALL NEW WALLS TO EXTEND 6" ABOVE CEILING U.N.O.
- H. WALLS ARE TYPE P-1R UNLESS NOTED OTHERWISE.
- I. INTERIOR FINISH FLOOR LEVELS ARE EXISTING UNLESS NOTED OTHERWISE.
- J. PROVIDE CONTROL JOINTS IN GYPSUM BOARD WALLS ABOVE THE EDGES OF INTERIOR DOOR AND WINDOW FRAMES AND IN THE CENTER OF STRAIGHT WALLS 30'-0" IN LENGTH OR GREATER OR AS INDICATED ON INTERIOR ELEVATIONS.
- K. PARTITIONS MEETING EXTERIOR MULLIONS SHALL BE CENTERED ON MULLIONS. FASTENERS AND ATTACHMENTS SHALL BE FULLY CONCEALED FROM VIEW. ALL CONNECTIONS SHALL BE ACOUSTICALLY SEALED. PARTITION CLOSURE TO BE EMSEAL-QUIET JOINT ACOUSTIC PARTITION CLOSURE OR EQUAL.
- L. TAPE, BED, TEXTURE AND PAINT ALL REQUIRED SURFACES TO A SMOOTH LEVEL 5 FINISH. VE ALT. : LEVEL 4
- M. ALL FIXTURES TO BE IN WORKING CONDITION.
- N. FURR OUT ANY EXPOSED COLUMN ABUTTING WALLS AND TIE TO WALL AS REQUIRED
- O. PROVIDE TRANSITION STRIPS AT ALL FLOOR MATERIAL CHANGES AS NEEDED.
- P. REFER TO MEP DRAWINGS FOR COORDINATION
- Q. EXTERIOR DOOR THRESHOLDS SHALL NOT EXCEED ACCESSIBILITY REQUIREMENTS. RAISED THRESHOLDS AND FLOOR LEVEL CHANGES AT ACCESSIBLE DOORWAYS TO BE BEVELED WITH A SLOPE. REF: ACCESSIBILITY SHEETS.
- R. GC TO PROVIDE ALL IN-WALL BLOCKING AND BACKING. WOOD BLOCKING/SUBSTRATE TO BE FIRE RETARDANT, UNO. AT ALL LOCATIONS WHERE THE FOLLOWING IS TO BE MOUNTED:
- TVs
 - BRACKETS FOR COUNTERS
- T. PRIOR TO INSTALLING GYP. GC IS TO WALK THE SPACE AT FRAMING STAGE WITH OWNER/ OWNERS REP. TO CONFIRM LOCATIONS FOR BLOCKING AS NEEDED.
- U. GC TO PROVIDE AND INSTALL OCCUPANCY SIGN IN A CONSPICUOUS LOCATION IN ACCORDANCE WITH STATE AND LOCAL CODES.
- V. GC TO PROVIDE TO PROVIDE WATER RESISTANT CEMENT BOARD AT ALL RESTROOM WALLS (TYP.). REF: WALL TYPES.
- W. ALL WOOD IN CONTACT WITH CONCRETE MUST BE PRESERVATIVE TREATED MOISTURE RESISTANT WOOD
- X. ALL EXIT DOORS SHALL BE KEYLESS IN DIRECTION OF EGRESS.
- Y. DOORS ARE LOCATED 4" FROM ADJACENT WALLS UNLESS NOTED OTHERWISE.
- Z. PAINTING OF ALL WALL SURFACES SHALL BE COMPLETED PRIOR TO THE INSTALLATION OF ANY WALL TRIM OR PANELING.
- AA. REFER TO INTERIOR ELEVATIONS FOR FIXTURE MOUNTING HEIGHTS.
- BB. REFER TO PLUMBING FLOOR PLAN FOR PLUMBING FIXTURES STUB-UP, FLOOR SINKS, FLOOR DRAINS, CLEAN-OUTS, LOCATIONS & DETAILS. DRAINS SHALL BE FLUSH WITH CONCRETE SLAB AND FLOOR SHALL SLOPE TO DRAIN. SLOPE SHALL NOT EXCEED 2%.
- CC. PROVIDE MINIMUM FURRING AT EXTERIOR WALLS FOR MILLWORK AND MILLWORK STANDARDS IF NEEDED
- DD. MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED: - 5.0 L.B.F. (22.2N) FOR INTERIOR DOORS.
- EE. INSTALL STAINLESS STEEL CORNERS STARTING ABOVE BASE WHERE INDICATED
- FF. SIGN VENDOR TO PROVIDE ALL BLOCKING FOR SIGNAGE. COORDINATE LOCATIONS.
- GG. DO NOT SCALE DRAWINGS.

KEYED NOTES

1. RECEPTION DESK - REFER TO DETAIL 2 ON SHEET A180
2. ELECTRICAL PANELS - REFER TO ELECTRICAL DRAWINGS
3. FURR OUT ALL EXTERIOR WALLS WITH R-19 INSULATION FROM FLOOR TO ROOF DECK TYP.
4. NEW HI-LO WATER FOUNTAIN WITH BOTTLE FILLER BY ELKAY MODEL # LZSTL8WSLP
5. NEW MOP SINK, REFER TO PLUMBING SHEETS
6. RECEPTION CREDENZA - REFER DETAIL 1 ON SHEET A180
7. SALE WALL - REF. DETAIL 01 ON SHEET A181. HANG ABOVE CREDENZA
8. MPR CABINET NO SINK - REF. DETAIL 02 ON SHEET A181
9. SAW CUT AS NEEDED FOR NEW PLUMBING/ELECTRICAL. SEE INFILL SLAB DETAIL 1/G104
10. RESTROOM PEREMETER WALLS TO EXTEND TO DECK G.C. TO SUPPLY AND INSTALL SOUND BATT INSULATION ON ALL RESTROOM WALLS.
11. NEW STOREFRONT PARTITION WITH DOUBLE DOOR TO MATCH EXISTING.
12. EXISTING 1 HR FIRE RATED DEMISING WALL. GC SHALL VERIFY WITH A SOUND ATTENUATION SPECIALIST IF SOUND ATTENUATION MEASURES MAY BE NECESSARY. SEE LOUD USES SECTION ON SHEET G104
13. RELOCATED EXISTING DOOR
14. EXISTING EXTERIOR WALL

FLOOR PLAN LEGEND

	EXISTING WALL		WALL TYPE
	NEW FULL HEIGHT PARTITION		WINDOW TYPE
			DOOR TAG

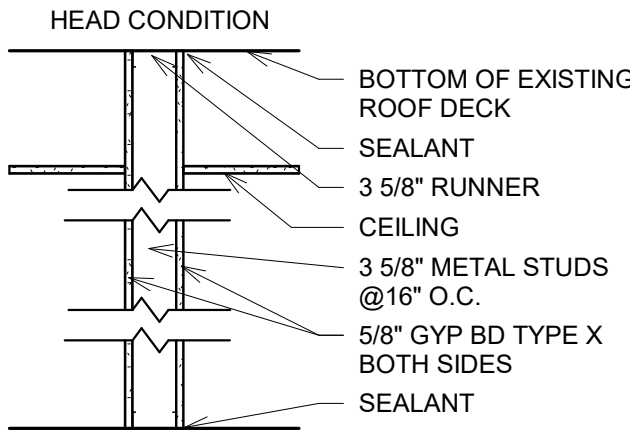
TYPICAL PARTITIONS

NEW WALL PARTITIONS SHALL EXTEND TO DECK WITH 5/8" GYP. BD/ EACH SIDE OVER 3 5/8" MTL. STUDS @16" O.C. TAPE, BED AND PAINT BOTH SIDES. GYP BD & INSULATION TO EXTEND 6" ABOVE CEILING. FRAMING TO EXTEND TO DECK. ALL FASTENERS SHALL BE SELF-TAPPING NO. 12-14 GAUGE TYPE S SCREWS, SPACED 24" MAX.

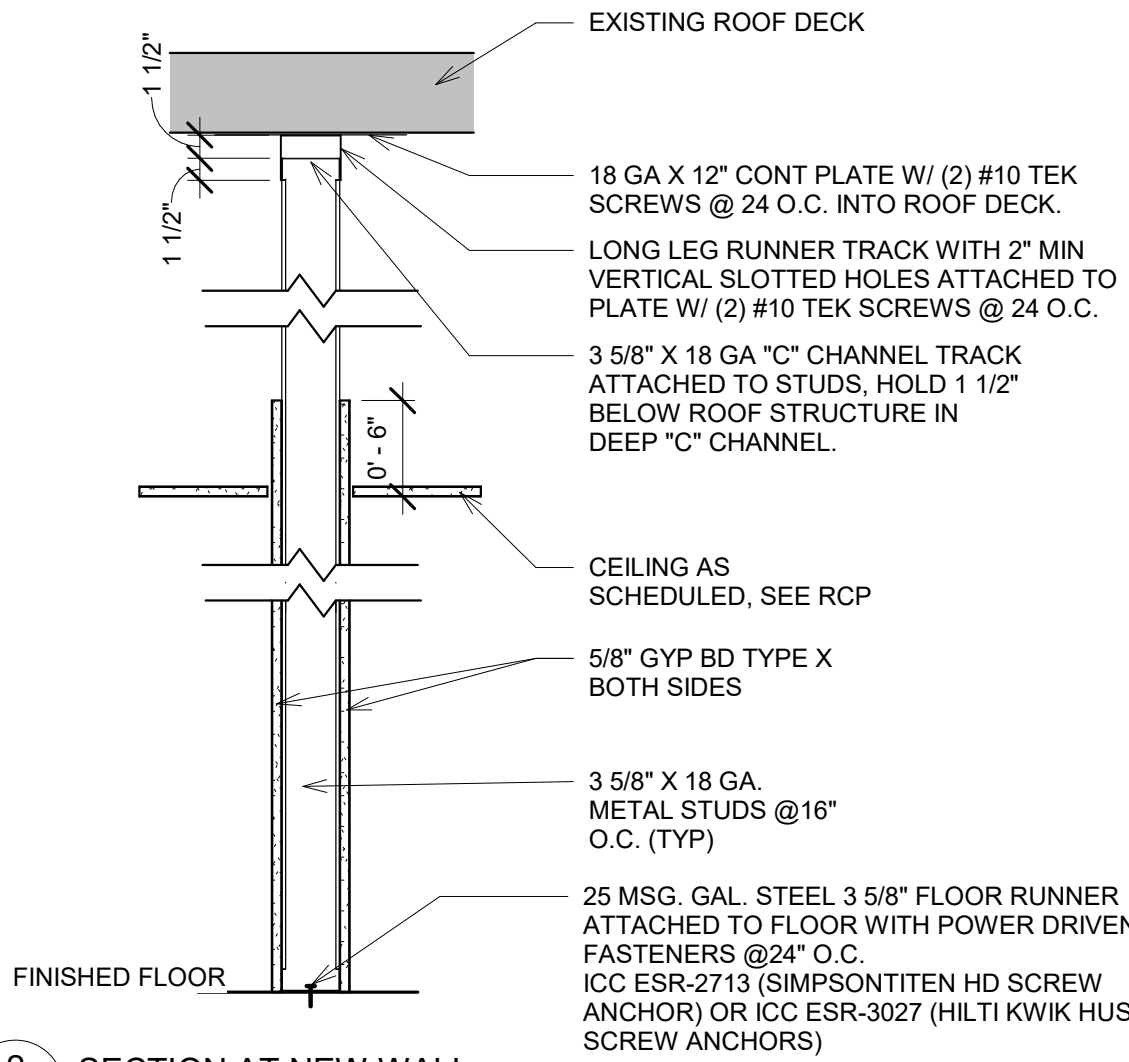
P-01 FULL HEIGHT WALL, EXTEND TO UNDERSIDE OF DECK		5/8" GYP BD TYPE X BOTH SIDES 3 5/8" METAL STUDS @16" O.C. (TYP)
P-02 FULL HEIGHT WALL, EXTEND 6" ABOVE CEILING		EXISTING PARTITION 5/8" GYP BD TYPE X 3 5/8" METAL STUDS @16" O.C. (TYP)
P-03		5/8" GYP BD TYPE X BOTH SIDES 6" METAL STUDS @ 16" O.C. (TYP)

PARTITION TYPES NOTES

- A. ALL WALLS ARE TYPE P-1R UNLESS NOTED OTHERWISE (U.N.O.).
- B. WALL TYPES INDICATED ARE DIAGRAMMATIC AND MUST BE REFERENCED TOGETHER WITH THE ROOM FINISH SCHEDULE, WALL SECTIONS, AND ELEVATIONS FOR THE COMPOSITE WALL SYSTEM.
- C. ALL METAL STUD AND CHANNEL SPACING TO BE 16" ON CENTER UNLESS SPECIFICALLY NOTED OTHERWISE.
- D. ALL GYPSUM BOARD TO BE "TYPE X" FIRE-RATED U.N.O.
- E. WHERE CERAMIC TILE WALL FINISHES OCCUR AT METAL STUD WALLS, OR AT METAL STUD WALLS WITH CUSTODIAL MOP SINKS, USE TILE BACKER BOARD, TAPE AND BED BUTT JOINTS BEHIND CERAMIC TILE. SEE FINISH SCHEDULE AND INTERIOR ELEVATIONS FOR FINISHES.
- F. THE FOLLOWING WALL TYPE SUFFIXES MAY BE USED SINGLY OR IN COMBINATION TO DESCRIBE A VARIATION OF WALL TYPES. THESE SUFFIXES ARE ADDITIVE AND, WHEN USED IN COMBINATION, DESCRIBE ALL OF THE CHARACTERISTICS REQUIRED FOR THAT WALL TYPE:
- P-1 THE BASIC WALL TYPE.
- P-1A THE BASIC WALL TYPE WITH 3" SOUND BATT INSULATION IN WALL TO CEILING WITH 8'-0" WIDE SOUND BATT INSULATION CENTERED OVER THE TOP OF THE WALL.
- P-1F THE BASIC WALL TYPE CONSTRUCTED TO ACHIEVE THE FIRE RATING DESIGNATED
- P-1AF THE BASIC WALL TYPE CONSTRUCTED TO ACHIEVE THE FIRE RATING DESIGNATED ON THE R.C.P.'S AND LIFE SAFETY PLAN WITH ACOUSTICAL TREATMENT AS SPECIFIED FOR THE PARTICULAR TYPE OF WALL CONSTRUCTION.
- P-1R THE BASIC WALL TYPE WITH R-13 BATT INSULATION FROM FLOOR TO CEILING.
- G. ACOUSTICAL WALL NOTES: (I.E. : P-1A AND P-1AF)
1. BOTTOM TRACK TO BE SET IN DOUBLE BEAD OF ACOUSTIC SEALANT OR MASTIC.
 2. NO BACK TO BACK OUTLET BOXES ALLOWED.
 3. ALL OUTLET PENETRATIONS TO BE SEALED AND HIGH DENSITY MATTING APPLIED BEHIND BOX.
 4. WALLS SHOWN TO EXTEND TO UNDERSIDE OF DECK TO BE TIGHTLY SEALED TO UNDERSIDE OF DECK AND COMPLETELY INSULATED FLOOR TO DECK.



EXAMPLE OF A 1 HR 3 5/8" METL STUD FIRE RATED HEAD, PLAN, AND SILL CONDITION



2 SECTION AT NEW WALL
A110
SCALE: NOT TO SCALE

CONSULTANT:

James A. Lastovica
teamofchoice.com
Architect

1805 N 2ND ST
SUITE 5285
ROGERS, AR 72756
479-636-5004
JOB NO.:33806
DESIGNED BY: CHT



Seal: Jul 29, 2025

THE LITTLE GYM IRVINE
3992D BARRANCA PARKWAY
IRVINE, CA 92606

SHEET TITLE:
FLOOR PLAN

05/12/2025

REVISIONS:

No.	Description	Date
1	City Comments Rev.1	06/26/2025
2	City Comments Rev.2	07/29/2025

JOB No.: 33806

DRAWN BY: ABR

A110

7/29/2025 4:35:37 PM

FINISH LEGEND					
FINISH NOTES: 1. FIELD SAMPLE WALLS WILL BE REQUIRED PRIOR TO PAINTING. GC TO ENSURE ULTRA SPEC SCUFF-X PAINT IS PROVIDED AND ULTRA SPEC 500 PRIMER IS USED. 2. REF. MILLWORK SHEETS FOR MILLWORK FINISHES.					
TYPE	DESCRIPTION	MANUFACTURER	NAME/COLOR	FINISH	NOTES
ACT-1	ACOUSTIC CEILING TILE	ARMSTRONG	<varies> ACT-1 24X24	CLEAN ROOM FL 1716	<varies>
ACT-2	ACOUSTIC CEILING TILE	ARMSTRONG	ACT-2 24X48	STANDARD ACOUSTICAL CEILING TILE	
B-01	RUBBER WALL BASE	ROPPE	B-01 CHARCOAL	700 SERIES	
B-02	WOOD WALL BASE	GENERIC	B-02 CHARCOAL	4"X 1/2"	NO TRIM, INSTALL IN LOBBY, MPR AND MILLWORK BASE
CT-01	PORCELAIN TILE	DALTILE	CT-01 DARK GRAY	ASTRONOMY NEBULA AT73	12"X24" RR FLOOR & WALL 1/3 RUNNING BOND
FRP-1	FIBERGLASS PANEL	PANOLAM	FRP-1	BRIGHT WHITE	SHATTER PROOF - MPR
LVT-01	VINYL TILE	ARMSTRONG	LVT-01 ENGLISH GREY	DUO SPETTRO 18"x36"	DAVID DEGOL - dadegoljr@degol.com 814.937.5359
M-01	MIRROR	FAB GLASS & MIRROR	M-01	4'X6' PANELS	
MAT-01	GYM FLOOR MAT	EZ FLEX MATS	MAT-01 BLUE	BLUE EZ FLEX SPORTS MAT	BEN ANDERSON ben@ezflexmats.com
MAT-02	GYM FLOOR MAT	EZ FLEX MATS	MAT-02 RED	RED EZ FLEX SPORTS MAT	BEN ANDERSON ben@ezflexmats.com
PT-01	PAINT - PERSIAN VIOLET	BENJAMIN MOORE	PT-01	SEMI-GLOSS	TLG WALLS - PERIWINKLE PINWHEELS
PT-02	PAINT - PEEKABOO PURPLE	BENJAMIN MOORE	PT-02	SEMI-GLOSS	TLG WALLS
PT-03	PAINT - ORANGE YOU GLAD	BENJAMIN MOORE	PT-03	SEMI-GLOSS	TLG WALLS
PT-04	PAINT - MIAMI TEAL	BENJAMIN MOORE	PT-04	SEMI-GLOSS	TLG WALLS - TURQUOISE TWIRLS
PT-05	PAINT - FRESH GRASS	BENJAMIN MOORE	PT-05	SEMI-GLOSS	TLG WALLS - GREEN A GO-GO
PT-06	PAINT - TLG WHITE	BENJAMIN MOORE	PT-06	SEMI-GLOSS	TLG TRIM

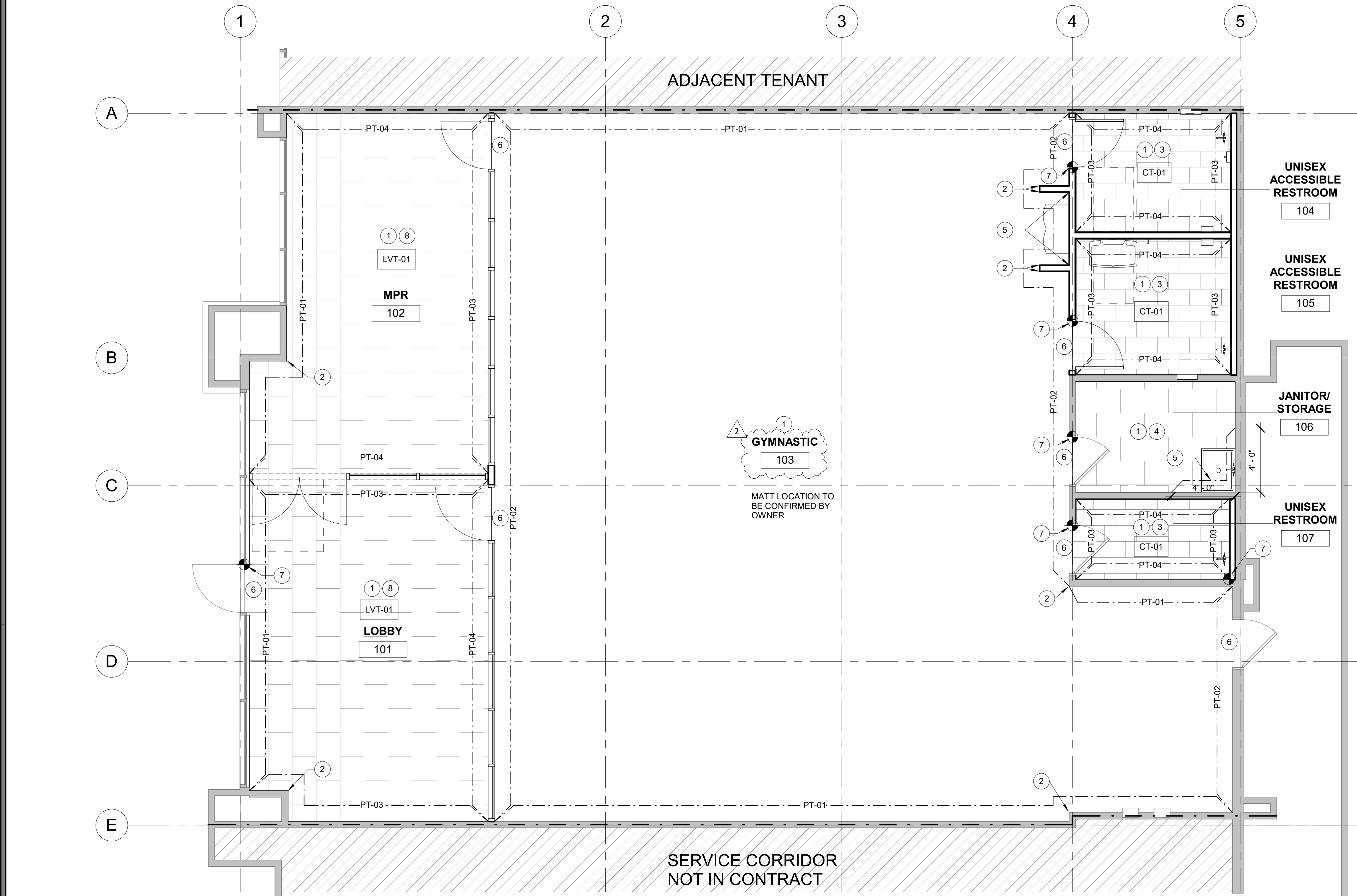
ROOM FINISH SCHEDULE					
ALTERNATIVE 01: USE LVT-01 IN LIEU OF CT-01 ON RESTROOM FLOORS AND FRP IN LIEU OF CT-01 ON WALLS.					
ROOM NAME	WALL FINISH	FLOOR FINISH	BASE FINISH	CEILING FINISH	Comments
LOBBY	PT- SEE PLANS	LVT-01	B-01	ACT-1	
MPR	PT- SEE PLANS	LVT-01	B-01	ACT-1	
GYMNASTIC	PT- SEE PLANS	MAT-01, MAT-02	B-01	ACT-1	COORDINATE RED MAT LOCATION WITH OWNER
UNISEX ACCESSIBLE RESTROOM	CT-01 AND PT- SEE PLANS	CT-01	B-01	GYP BD AND PT	TILE ON WALLS UP TO 4'-0" AFF
UNISEX ACCESSIBLE RESTROOM	CT-01 AND PT- SEE PLANS	CT-01	B-01	GYP BD AND PT	TILE ON WALLS UP TO 4'-0" AFF
JANITOR/ STORAGE	FRP, PT- SEE PLANS	LVT-01	B-01	PT	
UNISEX RESTROOM	CT-01 AND PT- SEE PLANS	CT-01	B-01	PT	TILE ON WALLS UP TO 4'-0" AFF
VIEWING AREA	PT- SEE PLANS	LVT-01	B-01	ACT-1	

LVT-01

CT-01

START POINT OF FULL SIZE CT OR LVT FLOORING

GENERAL NOTES	
<p>A. GC TO NOTIFY ARCHITECT IMMEDIATELY WHEN THERE IS A CONFLICT AND/OR DISCREPANCY.</p> <p>B. ALL DIMENSIONS ARE TO FACE OF FINISH.</p> <p>C. GC TO FAMILIARIZE WITH EXISTING CONDITIONS AND DIMENSIONS AND ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS PRIOR TO ANY WORK.</p> <p>D. REFER TO MEP DRAWINGS FOR COORDINATION.</p> <p>E. GC TO FIELD VERIFY ALL EXISTING DIMENSIONS PRIOR TO CONSTRUCTION AND/OR INSTALLATION OF ANY EQUIPMENT, ACCESSORIES, ETC. IF A DISCREPANCY IS IDENTIFIED, NOTIFY ARCHITECT IMMEDIATELY.</p> <p>F. ALL WALLS LEVEL 4 PAINT FINISH.</p> <p>G. NO FINISH SUBSTITUTIONS MAY BE MADE WITHOUT PRIOR WRITTEN AUTHORIZATION BY ARCHITECT OR OWNER.</p> <p>H. DO NOT SCALE DRAWINGS.</p> <p>I. ALL FINISHES SHALL BE APPLIED IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.</p> <p>J. GENERAL CONTRACTOR TO PROVIDE TEMPORARY PROTECTION FOR ALL INSTALLED FINISHES AS WORK PROGRESSES.</p> <p>K. G.C. SHALL SUBMIT THE FOLLOWING SAMPLES TO ARCHITECT FOR APPROVAL:</p> <p>a. TWO (2) SAMPLES FOR EACH PAINT OR WALL COVERING.</p> <p>b. TWO (2) 9" x 9" MIN. SAMPLES OF EACH CARPET, FROM ACTUAL DYE LOT TO BE INSTALLED.</p> <p>c. TWO (2) OF EACH WOOD, VCT, TILES, STONE, P.LAM OR OTHER SPECIALITY FINISH ETC.</p> <p>L. THE CONTRACTOR SHALL SUBMIT SAMPLES OF FINISH MATERIALS TO ARCHITECT FOR APPROVAL PRIOR TO ORDERING. THE CONTRACTOR SHALL BE WHOLLY LIABLE IF HE FAILS TO DO SO, WHETHER FINISHES ARE SPECIFIED CORRECTLY OR INCORRECTLY IN THE CONTRACT DOCUMENTS. GENERAL CONTRACTOR TO NOTIFY ARCHITECT OF ITEMS WITH LONG LEAD TIMES.</p> <p>M. FLOORING SUBCONTRACTOR TO SUBMIT SEAMING DIAGRAM WITH BID PACKAGE SUBMITTAL.</p> <p>N. PROVIDE SPECIFIED TRANSITION STRIPS AT ALL LVT TO CT TRANSITIONS. SUBMIT SAMPLE TO ARCHITECT FOR APPROVAL AND ANY ALTERNATE COLOR SELECTION.</p> <p>O. ALL TRANSITIONS AT DOORS TO OCCUR UNDER CENTERLINE OF DOOR IN CLOSED POSITION, U.N.O. . TRANSITIONS AT CASSED OPENINGS TO BE VERIFIED WITH ARCHITECT.</p> <p>P. APPLICATION OF CONTROLLED INTERIOR FINISHES SHALL BE IN ACCORDANCE WITH MUNICIPAL CODES AND NATIONAL REGULATIONS.</p> <p>Q. THE MAXIMUM FLAME SPREAD CLASSIFICATION OF FINISH MATERIALS USED ON INTERIOR WALLS AND CEILINGS SHALL NOT EXCEED THAT SET FORTH IN MUNICIPAL BUILDING CODE.</p> <p>R. THE SMOKE DENSITY OF MATERIALS SHALL BE NO GREATER THAN 450 WHEN TESTED IN ACCORDANCE WITH 1997 UNIFORM BUILDING CODE, STANDARD No. 8-1 IN THE WAY INTENDED FOR USE.</p> <p>S. INSTALL WALL FINISH FOR THE FULL HEIGHT OF THE PARTITION WITHOUT BASE. THERE SHALL BE NO UNFINISHED GAPS OF GYP. BOARD AT THE BASE.</p> <p>T. ALL PAINT AND PRIMERS SHALL BE APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATION FOR THAT PARTICULAR SURFACE.</p> <p>U. ALL WALLS SHALL RECEIVE ONE (1) PRIMER COAT AND TWO (2) COATS OF PAINT. (SEMI-GLOSS FINISH). U.N.O. PAINT FINISH SHALL HAVE CONSISTENT COVERAGE, FREE OF ROLLER OR BRUSH MARKS.</p> <p>V. ALL GYP. BD. CEILINGS AND SOFFITS TO RECEIVE TWO (2) COATS FLAT PAINT, U.N.O. WHERE INDICATED ON PLANS.</p> <p>W. PAINT AND WALL COVERING SUBCONTRACTOR SHALL EXAMINE WALLS TO ENSURE PROPER PREPARATION BEFORE APPLICATION. BEGINNING WORK IMPLIES ACCEPTANCE OF THEIR CONDITION.</p> <p>X. WHERE PAINT COLORS CHANGE, CORNERS SHALL BE CUT-IN AND FREE OF OVERLAP.</p> <p>Y. ALL EXISTING WALLS TO BE PAINTED, U.N.O. AS PER INDICATED ON PLAN.</p> <p>Z. PAINT FINISH ON METAL SURFACES INCLUDING: DOOR FRAMES, HANDRAILS, ELEVATOR DOORS, ETC. SHALL BE SEMI-GLOSS, U.N.O.</p> <p>AA. ALL METAL ACCESS DOORS SHALL BE PAINTED TO MATCH ADJACENT WALL OR CEILING FINISH. ANY GRAPHICS ON EXISTING DOORS SHALL BE REPAINTED OR REAPPLIED TO MATCH EXISTING.</p> <p>BB. CONTRACTOR TO FIELD VERIFY EXISTING CONDITION OF FLOORS RECEIVING NEW FINISH. ALL FLOORS MUST BE CLEAN, DRY, FREE OF DUST, GREASE, WAX, CURING AGENTS, EXCESSIVE ALKALINITY, PAINT, OLD ADHESIVE AND ANY FOREIGN SUBSTANCE THAT WOULD PROHIBIT PROPER BONDING OF ANY FLOOR COVERING MATERIAL. CONTRACTOR SHALL INCLUDE ALL REQUIRED FLOOR PREPARATION IN BID. PROVIDE PRICE TO FLOAT FLOOR WHERE NECESSARY TO ACHIEVE TOLERANCE OF 1/8" MAX. IN 10'-0" SPAN.</p> <p>CC. ALL CONCRETE SUBFLOORS SHALL BE TREATED FOR MOISTURE PRIOR TO INSTALLATION OF ANY FLOOR COVERING. RATINGS SHALL BE IN ACCORDANCE WITH THOSE AS CONSIDERED ACCEPTABLE BY THE MFR. FOR THE SPECIFIED PRODUCTS. SUBFLOORS EXCEEDING THESE MOISTURE RATINGS WILL REQUIRE CORRECTIVE MEASURES.</p> <p>DD. ALL BASE SHALL BE AS SPECIFIED, OR EQUAL. CONTRACTOR TO PROVIDE SAMPLE FOR REVIEW AND APPROVAL.</p> <p>EE. INSTALL BASE LENGTHS AS LONG AS POSSIBLE. WRAP BASE AROUND CORNER AND CONTINUE A MIN. OF 6" BEYOND BEFORE SEAMING, OR USE PRE-FORMED CORNER PIECES.</p> <p>FF. G.C. TO COORDINATE THE INSTALLATION OF WALL BASE WITH ANY MILLWORK. DELETE BASE WHERE BUILT-IN CABINETS ARE INDICATED.</p> <p>GG. FLOORING SHALL MEET ALL CURRENT NON-SLIP STANDARDS AND REQUIREMENTS SPECIFIED BY APPLICABLE CODES AND/OR AUTHORITIES. CONTRACTOR SHALL PROVIDE NON-SLIP COATINGS AS NECESSARY TO MEET THESE REQUIREMENTS.</p> <p>HH. AFTER CLEANING, THE FLOORING CONTRACTOR SHALL PROVIDE (2) APPLICATIONS OF AN APPROVED NON-SLIP WAX TO ALL RESILIENT TILE FLOOR, WHICH SHALL BE THOROUGHLY MACHINE-BUFFED AND IN CONDITION ACCEPTABLE TO OWNER.</p> <p>II. ALL CERAMIC AND LVT. TILES TO BE INSTALLED WITH FULL TILE FROM TRANSITION AT DOOR AND FULL TILE FROM WALL PERPENDICULAR TO DOOR, U.N.O.</p> <p>JJ. ALL TILE TO BE INSTALLED PER TILE COUNCIL OF AMERICA STANDARDS.</p> <p>KK. PARTITIONS SHALL RECEIVE LEVEL 5 FINISH AND TWO COATS OF SPECIFIED PAINT THROUGHOUT (UNO). REFER TO INTERIOR ELEVATIONS.</p> <p>LL. GENERAL CONTRACTOR SHALL TOUCH-UP OR REPAINT AS NEEDED AFTER COMPLETION OF WORK.</p> <p>MM. PROVIDE A BEAD OF CAULK AT VISIBLE INTERSECTIONS BETWEEN MILLWORK AND WALLS WHERE A GAP OCCURS OR LIGHT SHINES THROUGH. CAULK IS TO MATCH SURROUNDING MATERIALS.</p> <p>NN. ANY TILE FLOORING (OTHER THAN SLAB ON GRADE) SHALL HAVE WATERPROOF MEMBRANE WITH EPOXY GROUT.</p> <p>OO. ALL FLOOR COVERINGS SHALL COMPLY WITH MINIMUM ACCESSIBILITY CODE REQUIREMENTS REGARDING SLIP RESISTANCE.</p> <p>PP. CONTACT ARCHITECT WITH QUESTIONS REGARDING PATTERN, ALIGNMENT, STARTING POINTS, ETC.</p> <p>QQ. FLOOR DRAINS (REFER TO PLUMBING SHEETS) SHALL BE SET TO BE FLUSH WITH TOP OF FINISH TILE. UNLESS OTHERWISE NOTED.</p> <p>RR. ALL HORIZONTAL SEAMS ARE TO BE SEALED (I.E. COUNTERTOPS, TILE AND STATIONARY FIXTURES, ETC.). USE CLEAR CAULK.</p> <p>SS. RETURN ALL FINISHES TO WINDOW / DOOR FRAMES.</p> <p>TT. REFER TO INTERIOR ELEVATIONS FOR CLARIFICATION.</p> <p>UU. GENERAL CONTRACTOR TO PROVIDE MINIMUM 1 CASE OF EACH SET OF FLOOR TILES, WALL TILES & CEILING TILES AND 1 GALLON OF EACH PAINT COLOR FOR FUTURE USE. THESE MATERIALS ARE TO BE LEFT ON SITE WITH THE RESTAURANT OWNER.</p>	
KEYED NOTES	
<p>1 WALL AND FLOOR FINISHES TO BE CONFIRMED BY OWNER.</p> <p>2 GC TO PROVIDE AND INSTALL CORNER GUARDS</p> <p>3 PARTIAL HEIGHT WALL TILE IN RESTROOM WALLS. REFER TO RESTROOM ELEVATIONS FOR MORE INFORMATION.</p> <p>4 NO WALL FINISHES U.O.N.</p> <p>5 48" HEIGHT FRP.</p> <p>6 NEW THRESHOLD. REF. TO FLOOR FINISH DETAILS.</p> <p>7 START POINT AS INDICATED ON PLAN WITH FULL SIZE TILE.</p> <p>8 INSTALL WOOD WALL BASE</p>	



1 FINISH PLAN
A170 SCALE: 1/4" = 1'-0"

CONSULTANT:

James A. Lastovica
teamofchoice.com Architect

1805 N 2ND ST SUITE 5285 ROGERS, AR 72756 479-636-5004 JOB NO.:33806 DESIGNED BY: CHT



SEAL:

THE Little Gym IRVINE
3992D BARRANCA PARKWAY
IRVINE, CA 92606

SHEET TITLE:
FINISH PLAN

05/12/2025

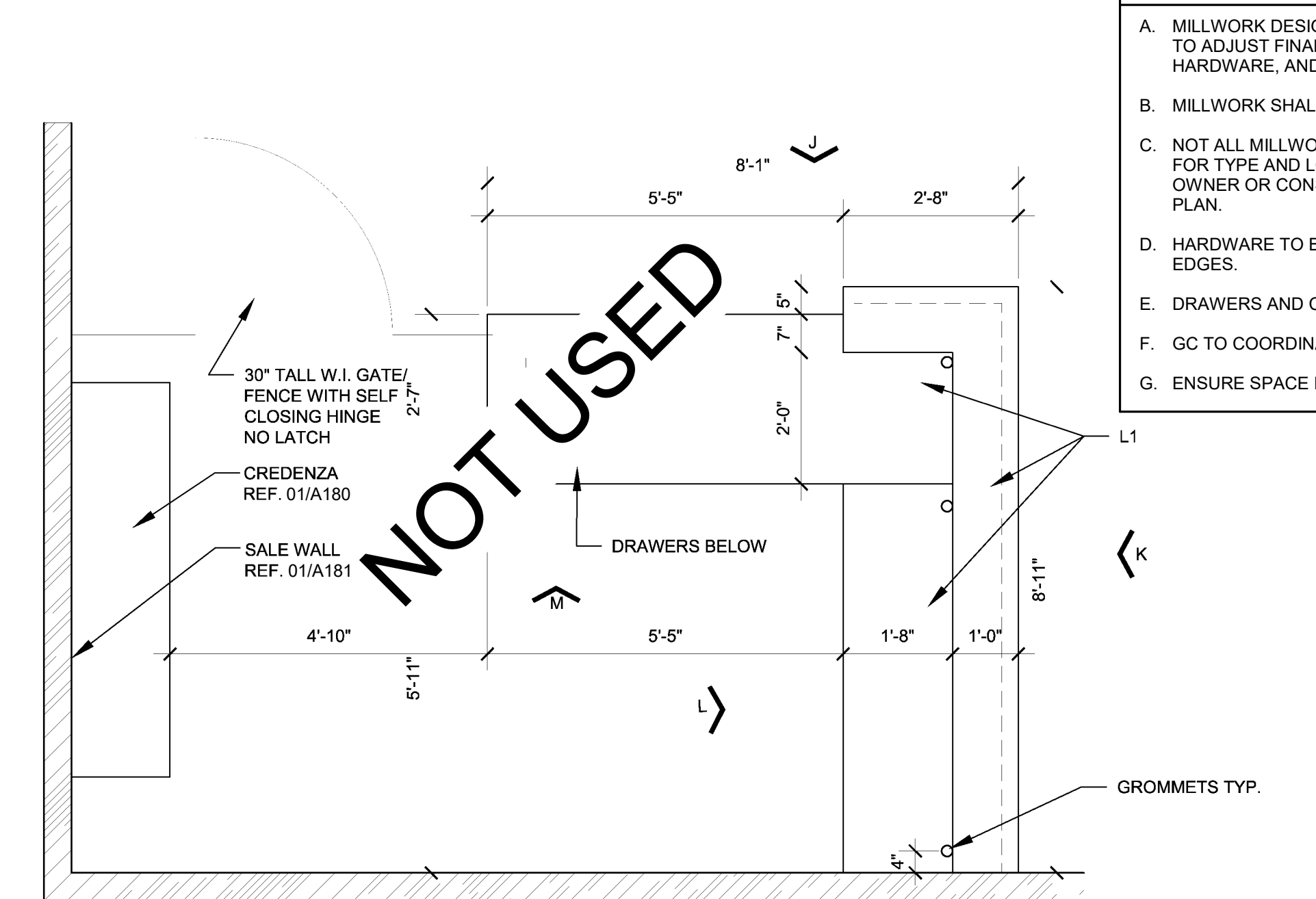
REVISIONS:

No.	Description	Date
2	City Comments Rev 2	07/29/2025

JOB No.: 33806

DRAWN BY: ABR

A170



PLAN - RECEPTION DESK 03

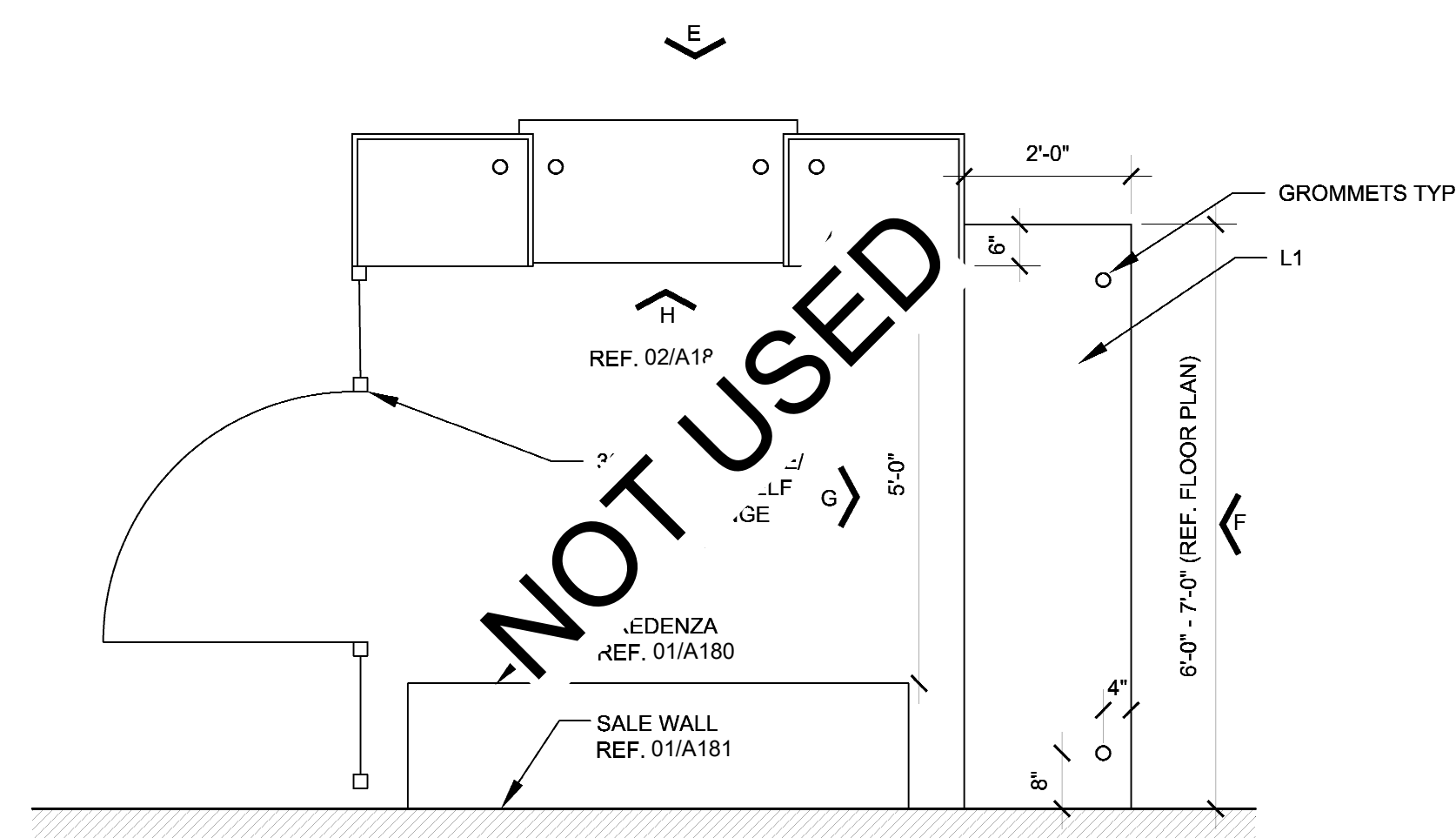
- A. MILLWORK DESIGN IS REPRESENTATIVE OF DESIGN INTENT. MILLWORK VENDOR TO ADJUST FINAL DETAILS PROVIDING PROPER STRUCTURAL INTEGRITY, HARDWARE, AND ETC. PER INDUSTRY STANDARDS.
- B. MILLWORK SHALL COMPLY WITH ACCESSIBILITY STANDARDS.
- C. NOT ALL MILLWORK SHOWN ON THIS SHEET ARE USED. REFER TO FLOOR PLAN FOR TYPE AND LOCATIONS OF MILLWORK. COORDINATE AND CONFIRM WITH OWNER OR CONSTRUCTION MANAGER FOR MILLWORK NOT SHOWN ON FLOOR PLAN.
- D. HARDWARE TO BE BRUSHED METAL FINISH WITH ROUND EDGES TO AVOID SHARP EDGES.
- E. DRAWERS AND CABINET DOORS SHALL HAVE SOFT CLOSE HARDWARE (TYP.)
- F. GC TO COORDINATE ELECTRICAL AS NEEDED.
- G. ENSURE SPACE IS CONDITIONED PRIOR TO INSTALLATION OF MILLWORK.

1805 N 2ND ST 479-636-5004
SUITE 5285 JOB NO.:33806
ROGERS, AR 72756 DESIGNED BY: CHT

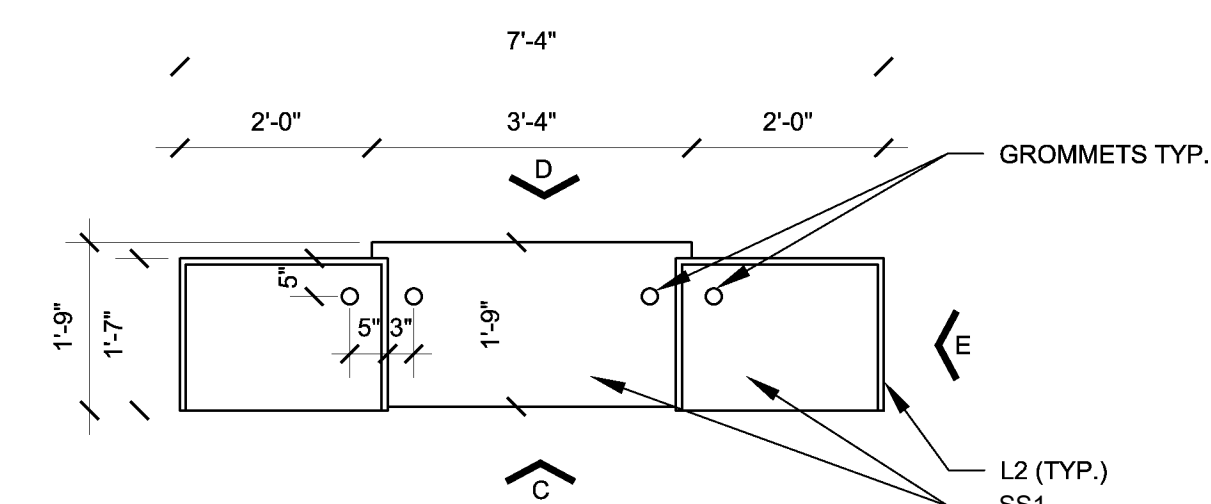


Jul 29, 2025

KEY	DESCRIPTION
L1	LAMINATE, WILSONART, DESIGNER WHITE D354-60
L2	LAMINATE, WILSONART, BEIGEWOOD 7850-60
L3	LAMINATE, WILSONART, ORANGE GROVE D501-60
L4	LAMINATE, WILSONART, ISLAND D498-60
L5	LAMINATE, WILSONART, OCEAN D502-60
L6	LAMINATE, WILSONART, HIBISCUS TEA Y0034-60
SS1	SOLID SURFACE, WILSONART, DESIGNER WHITE, D354SL



PLAN - RECEPTION DESK 02



PLAN - RECEPTION DESK 01



PLAN - CREDENZA

**THE Little
gym®**

THE LITTLE GYM IRVINE
3992D BARRANCA PARKWAY
IRVINE, CA 92606

DRAWN BY: ABR

A180

7/29/2025 4:35:46 PM

MILLWORK FINISH LEGEND	
KEY	DESCRIPTION
L1	LAMINATE, WILSONART, DESIGNER WHITE D354-60
L2	LAMINATE, WILSONART, BEIGEWOOD 7850-60
L3	LAMINATE, WILSONART, ORANGE GROVE D501-60
L4	LAMINATE, WILSONART, ISLAND D498-60
L5	LAMINATE, WILSONART, OCEAN D502-60
L6	LAMINATE, WILSONART, HIBISCUS TEA Y0034-60
SS1	SOLID SURFACE, WILSONART, DESIGNER WHITE, D354SL

- GENERAL NOTES**
- A. MILLWORK DESIGN IS REPRESENTATIVE OF DESIGN INTENT. MILLWORK VENDOR TO ADJUST FINAL DETAILS PROVIDING PROPER STRUCTURAL INTEGRITY, HARDWARE, AND ETC. PER INDUSTRY STANDARDS.
- B. MILLWORK SHALL COMPLY WITH ACCESSIBILITY STANDARDS.
- C. NOT ALL MILLWORK SHOWN ON THIS SHEET ARE USED. REFER TO FLOOR PLAN FOR TYPE AND LOCATIONS OF MILLWORK. COORDINATE AND CONFIRM WITH OWNER OR CONSTRUCTION MANAGER FOR MILLWORK NOT SHOWN ON FLOOR PLAN.
- D. HARDWARE TO BE BRUSHED METAL FINISH WITH ROUND EDGES TO AVOID SHARP EDGES.
- E. DRAWERS AND CABINET DOORS SHALL HAVE SOFT CLOSE HARDWARE (TYP.)
- F. GC TO COORDINATE ELECTRICAL AS NEEDED.
- G. ENSURE SPACE IS CONDITIONED PRIOR TO INSTALLATION OF MILLWORK.

CONSULTANT:

James A. Lastovica
teamofchoice.com Architect

1805 N 2ND ST SUITE 5285 ROGERS, AR 72756 479-636-5004 JOB NO.:33806 DESIGNED BY: CHT



SEAL:

Jul 29, 2025

THE LITTLE GYM
THE LITTLE GYM IRVINE
3992D BARRANCA PARKWAY
IRVINE, CA 92606

SHEET TITLE:
MILLWORK DETAILS

05/12/2025

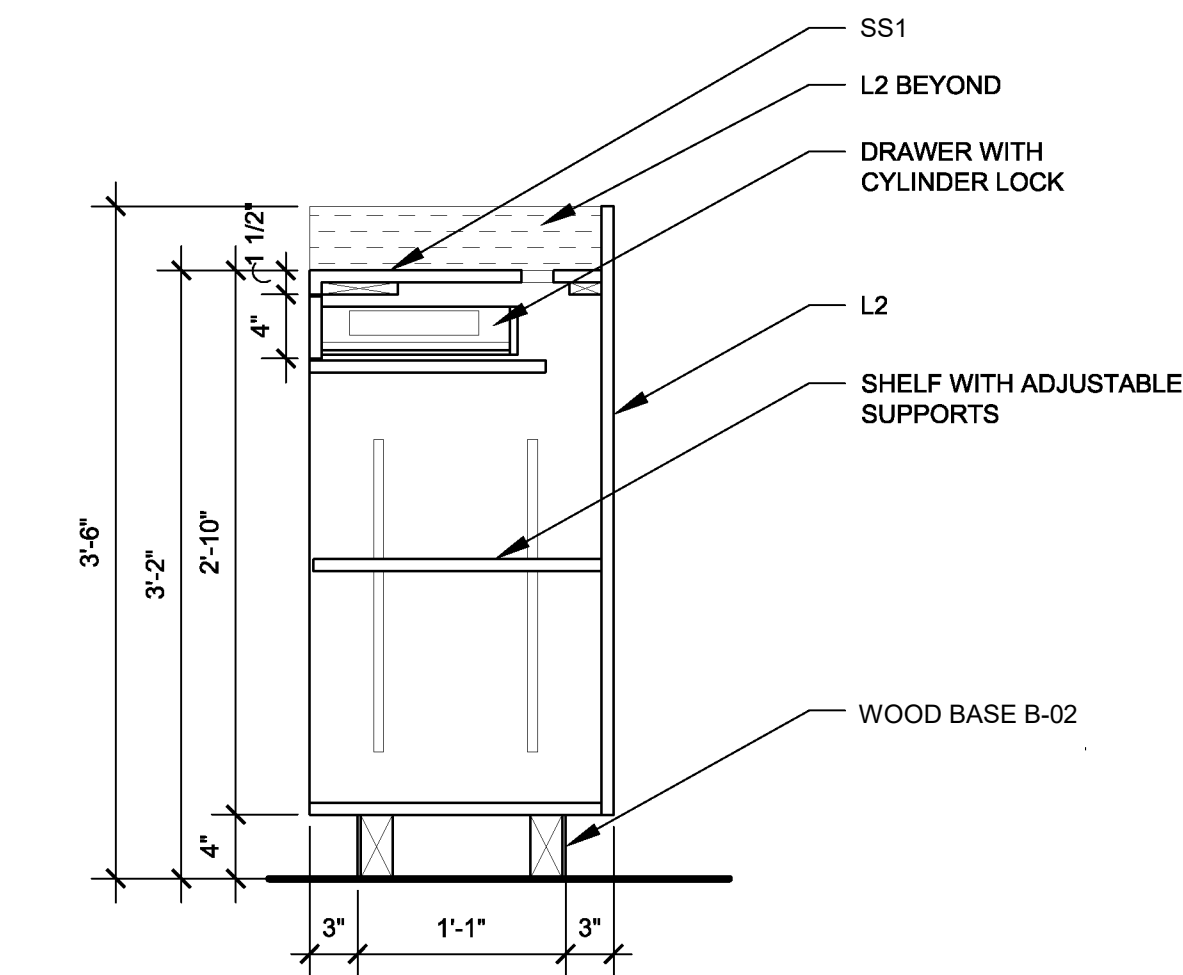
REVISIONS:

No.	Description	Date

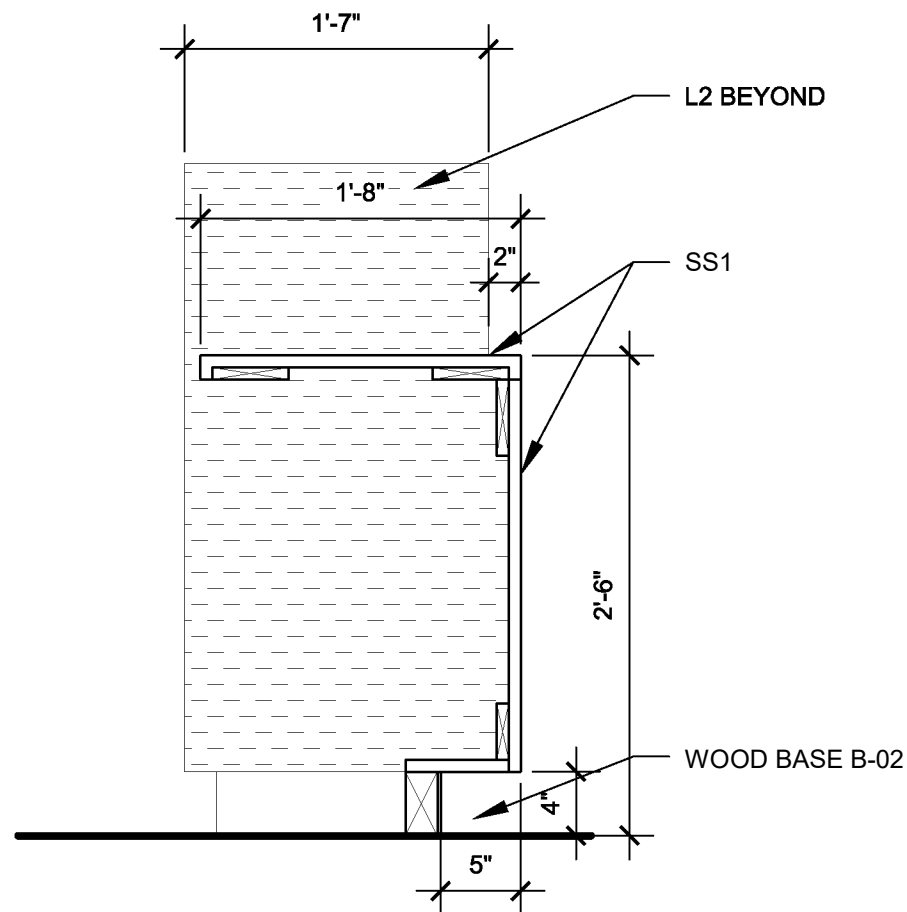
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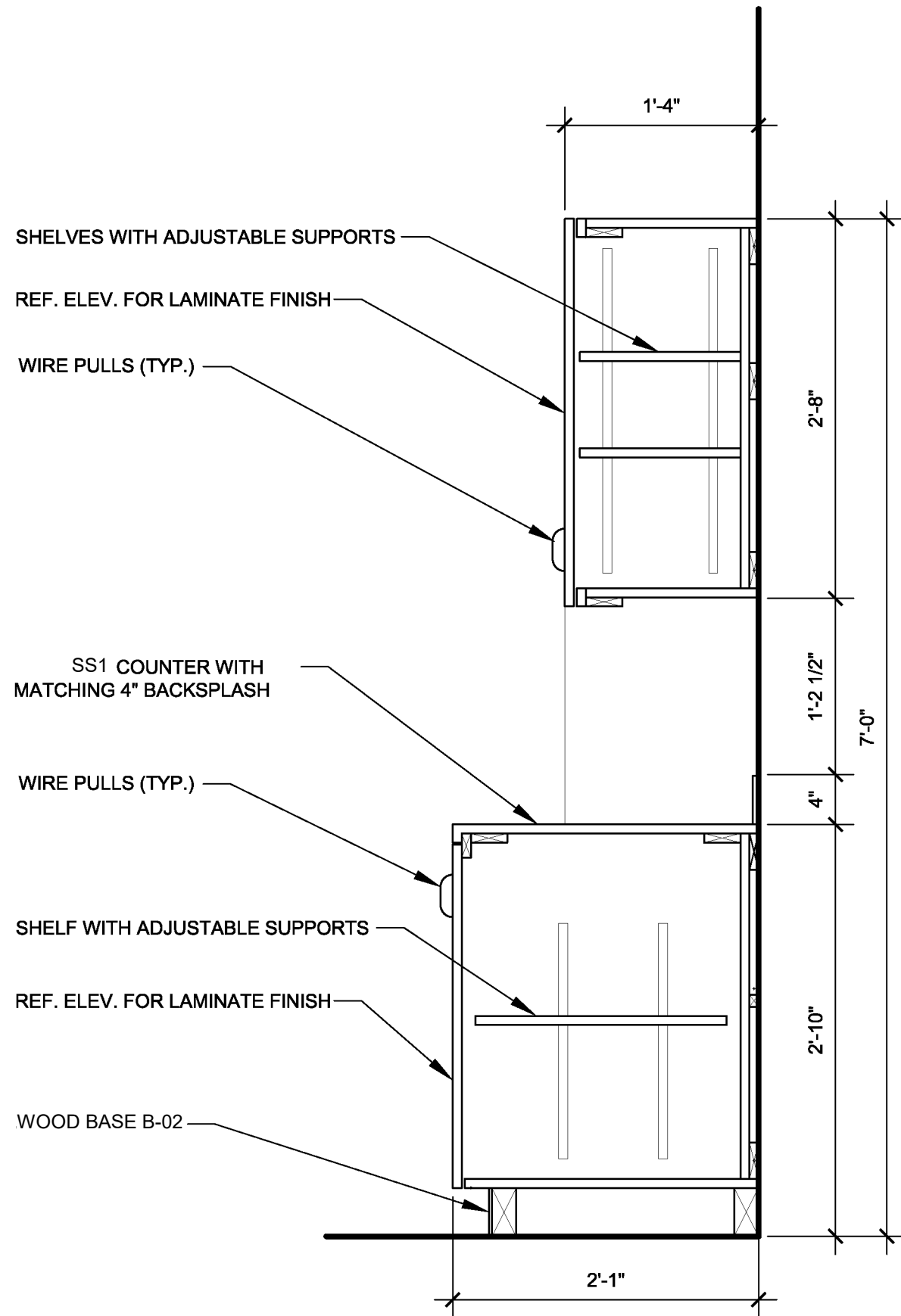
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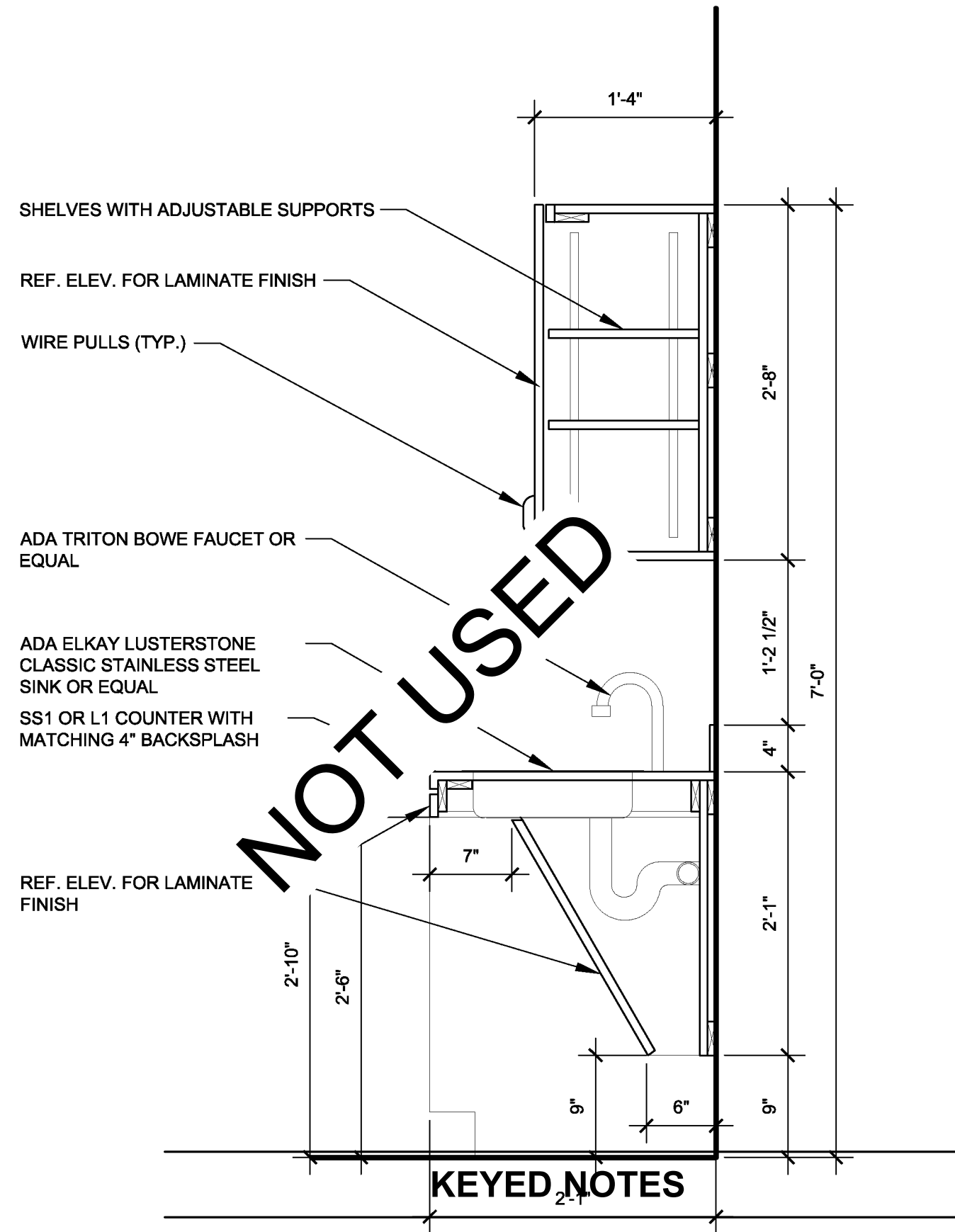
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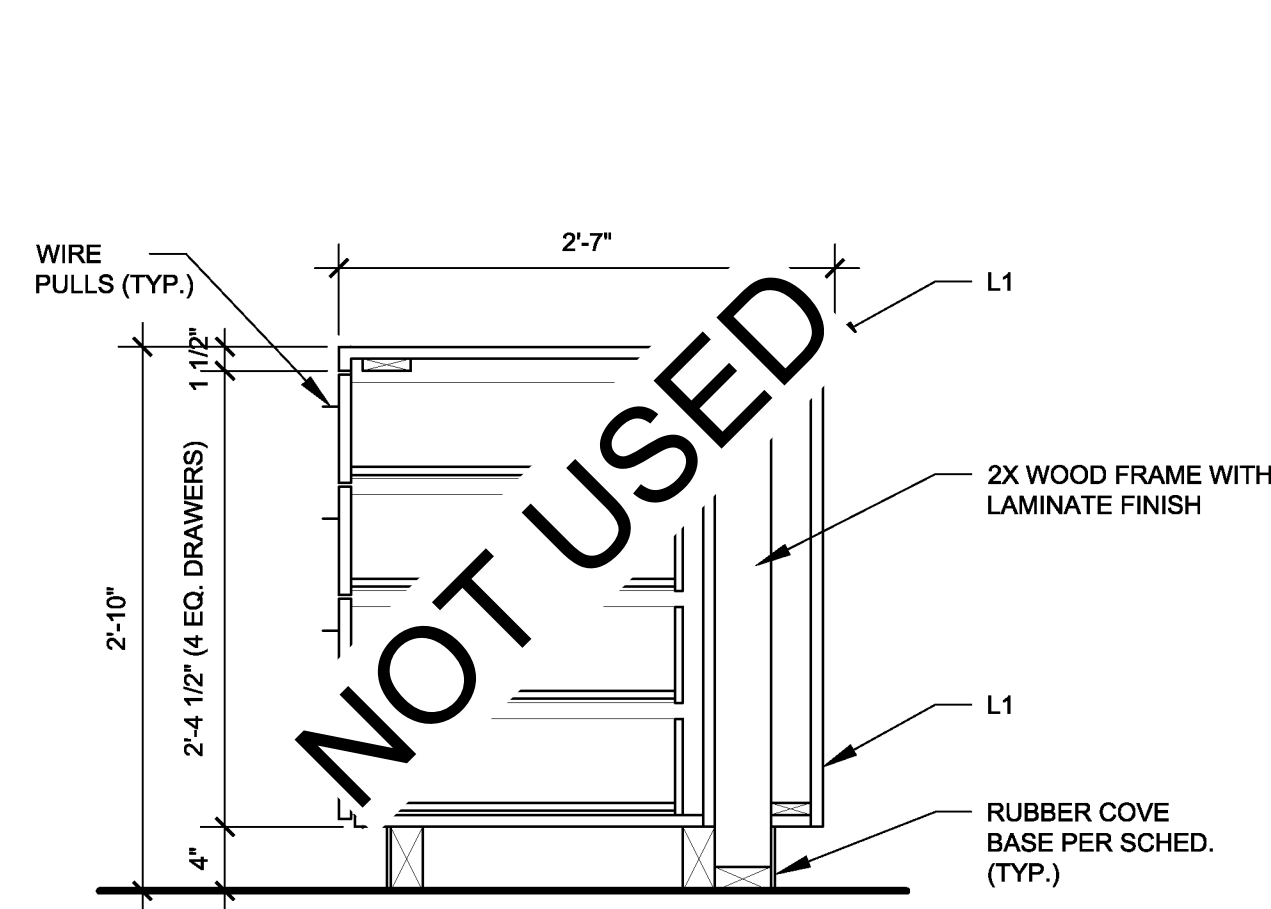
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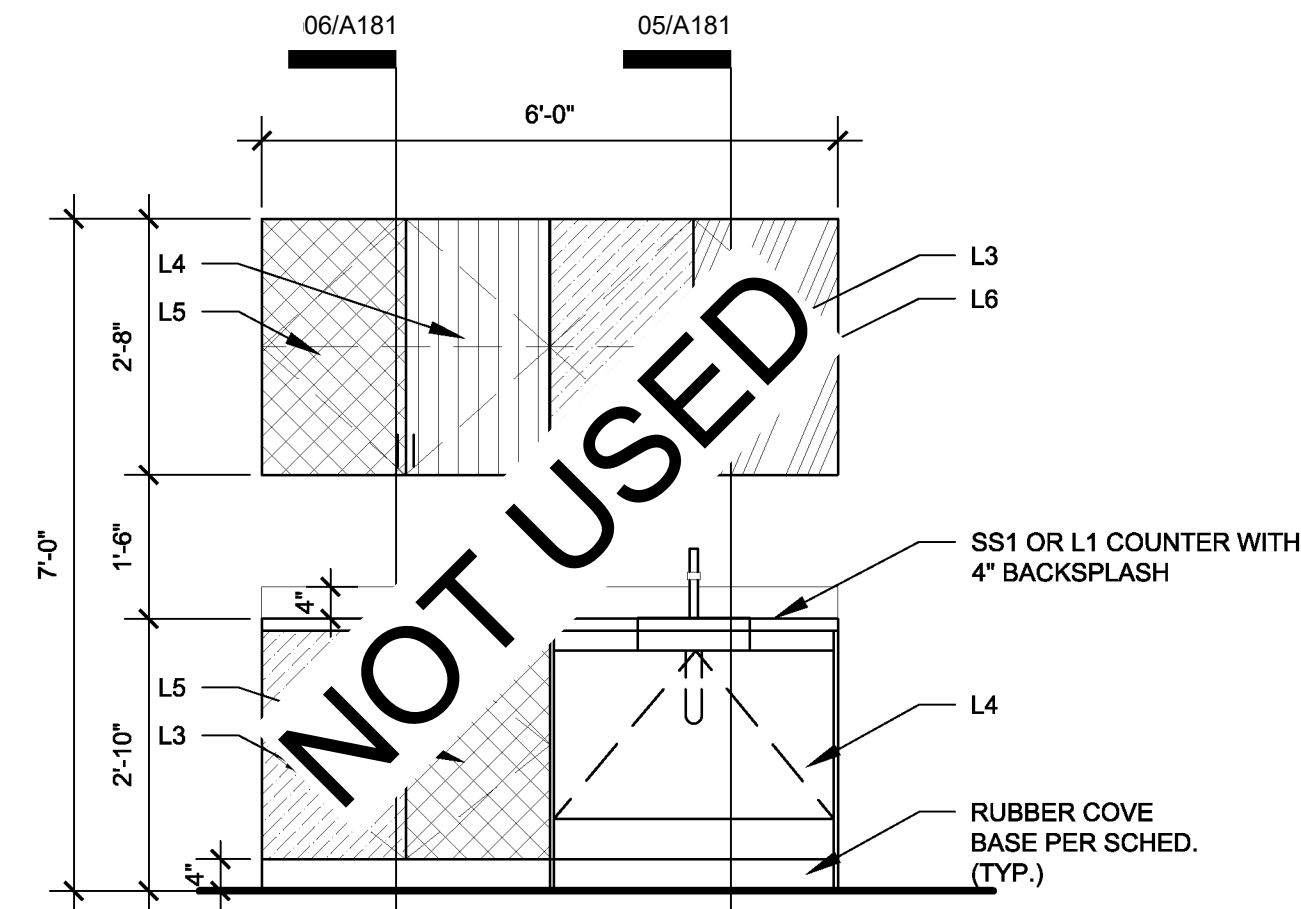
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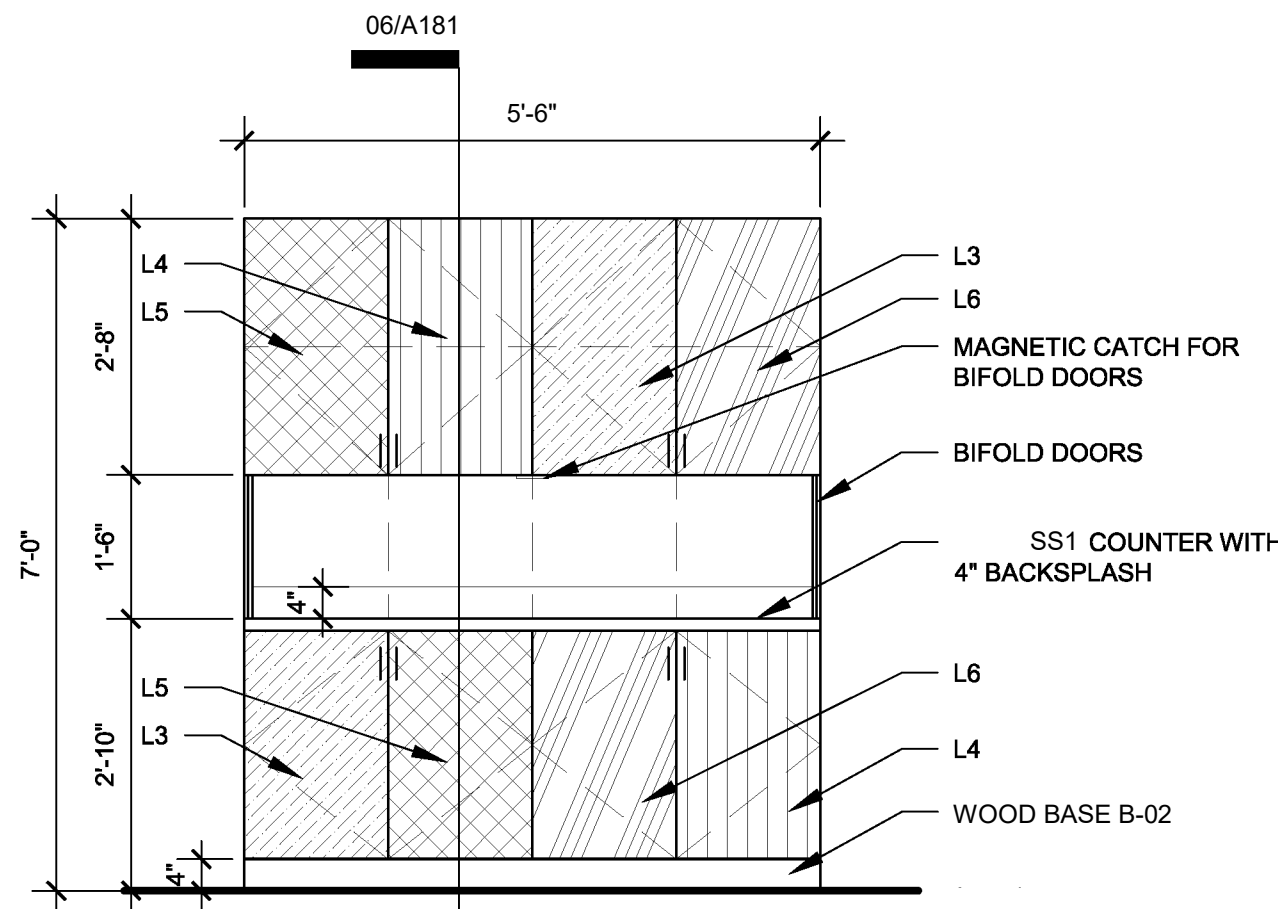
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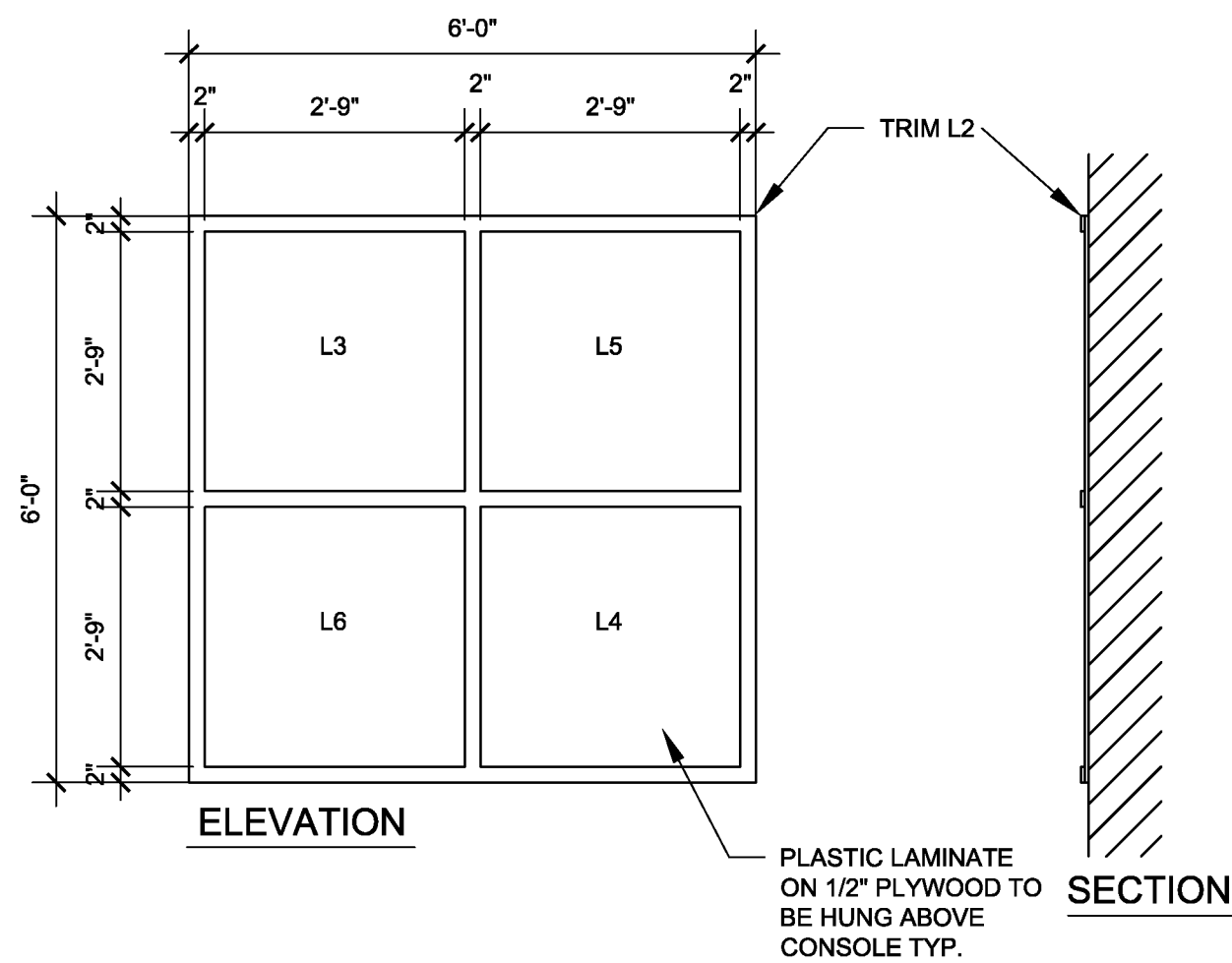
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SCALE: 1"=1'-0"



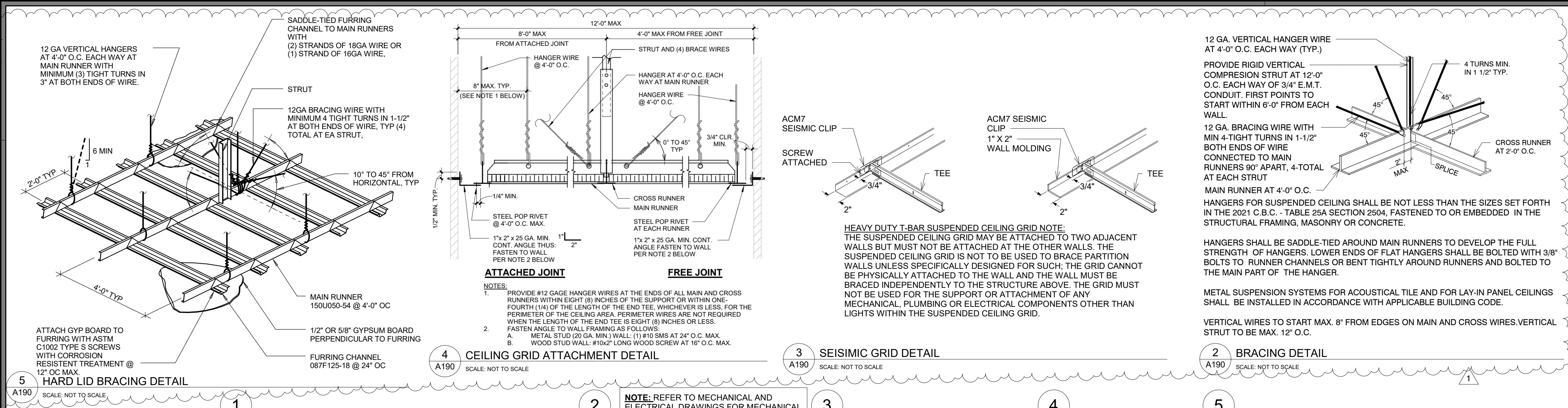
03 MPR MILLWORK SINK
SCALE: 1/2" = 1'-0"



02 MPR MILLWORK NO SINK
SCALE: 1/2" = 1'-0"



01 SALE WALL DETAIL
SCALE: 1/2" = 1'-0"



GENERAL NOTES

- A. GC TO NOTIFY ARCHITECT IMMEDIATELY WHEN THERE IS A CONFLICT AND/OR DISCREPANCY.
- B. ALL DIMENSIONS ARE TO FINISH.
- C. GC TO FAMILIARIZE WITH EXISTING CONDITIONS AND DIMENSIONS AND ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS AND REGULATIONS PRIOR TO ANY WORK.
- D. REFER TO MEP DRAWINGS FOR COORDINATION.
- E. ALL LIGHTS TO BE SUPPLY BY GC / OWNER AND INSTALLED BY G.C. JUNCTION BOX AND FINAL ELECTRICAL CONNECTION BY G.C. REF. TO ELECTRICAL DRAWINGS FOR FIXTURE INFORMATION.
- F. ALL DIFFUSERS & RETURN AIR GRILLES TO MATCH CEILINGS (THROUGHOUT THE ENTIRE RESTAURANT).
- G. CEILING IN PUBLIC RESTROOMS TO BE PAINTED GYPSUM BOARD INSTALLED OVER 2" X 4" WOOD CEILING FRAMING @ 2'-0" O.C.
- H. DO NOT SCALE DRAWINGS.
- I. CEILING HEIGHTS TO BE 10'-1" MINIMUM, HIGHER IF POSSIBLE. V.I.F. ACTUAL CONDITIONS.
- J. DO NOT INSTALL CEILING GRID UNTIL WORK ABOVE CEILING IS COORDINATED AND INSTALLED WITHIN AVAILABLE PLENUM SPACE.
- K. LOCATE CEILING MOUNTED FIXTURES / DEVICES IN THE CENTERS OF FULL CEILING PANELS UNLESS NOTED OTHERWISE.
- L. REF. ELECTRICAL PLANS. LIGHT FIXTURES AND SWITCHING TO COMPLY WITH THE ENERGY CODE.
- M. PROVIDE EXIT LIGHTING AND BATTERY POWERED EMERGENCY LIGHTING PER CODE. REF. ELECTRICAL.
- N. CEILING GRID TO BE CENTERED IN ROOM FOR STAND ALONE AREAS.
- O. INSTALL R-30 VINYL FACED BATT INSULATION UNDER ROOF DECK.
- P. INSTALL VINYL FACED R-30 INSULATION IN OPEN GYM AREA. INSTALL R-30 BATT INSULATION ABOVE NEW ACOUSTICAL CEILINGS. ENSURE EXISTING CEILINGS HAVE INSULATION ABOVE. PROVIDE NEW IF MISSING OR DAMAGED. NOT REQUIRED IF BUILDING IS ALREADY INSULATED.

KEYED NOTES

- 1 NEW ACT CEILING. VERIFY IF UNIFORM CEILING HEIGHTS CAN BE OBTAINED PRIOR TO CONSTRUCTION WITH ON-SITE CONDITIONS
- 2 NEW GYP BD CEILING TO BE INSTALLED OVER SUSPENDED CEILING FRAMING @ 2'-0" O.C. PAINT PT-06
- 3 EXISTING GYP BD CEILING TO RECEIVE NEW PAINT PT-06
- 4 ALL LIGHTS TO BE SUPPLY BY GC / OWNER AND INSTALLED BY G.C. JUNCTION BOX AND FINAL ELECTRICAL CONNECTION BY G.C. REF. TO ELECTRICAL DRAWINGS FOR FIXTURE INFORMATION.
- 5 ALL DIFFUSERS & RETURN AIR GRILLES TO MATCH CEILINGS.
- 6 EXIT LIGHT. REF. TO ELECTRICAL DRAWINGS.
- 7 GC TO EVALUATE EXISTING STRUCTURE CONDITION PRIOR CEILING INSTALLATION AND PROVIDE BRACING DETAILS TO ARCHITECT FOR REVIEW
- 8 EXISTING CANOPY OVER STOREFRONT
- 9 GC TO COORDINATE WITH SPRINKLER SYSTEM SUB-CONTRACTOR, SPRINKLER HEADS AND PENETRATIONS TO HAVE 2" OVERSIZE RING, SLEEVE OR ADAPTER TROUGH THE CEILING TILE TO ALLOW FREE MOVEMENT.

RCP LEGEND

- EXISTING WALL TO REMAIN
- 24"x24" ACOUSTIC CEILING TILE TEGULAR "SECOND LOOK"
- GYP BD CEILING. PAINT PER FINISH SCHEDULE
- NEW RECESSED LED TROFFER LIGHTS, REFERENCE ELECTRICAL
- EXISTING RECESSED CAN LIGHTS, REFERENCE ELECTRICAL
- EXIT LIGHT, REFERENCE ELECTRICAL

CONSULTANT:

James A. Lastovica
teamofchoice.com Architect

1805 N 2ND ST SUITE 5285 ROGERS, AR 72756 479-636-5004 JOB NO.:33806 DESIGNED BY: CHT



SEAL:

THE Little Gym
THE LITTLE GYM IRVINE
3992D BARRANCA PARKWAY
IRVINE, CA 92606

SHEET TITLE:
REFLECTED CEILING PLAN

05/12/2025

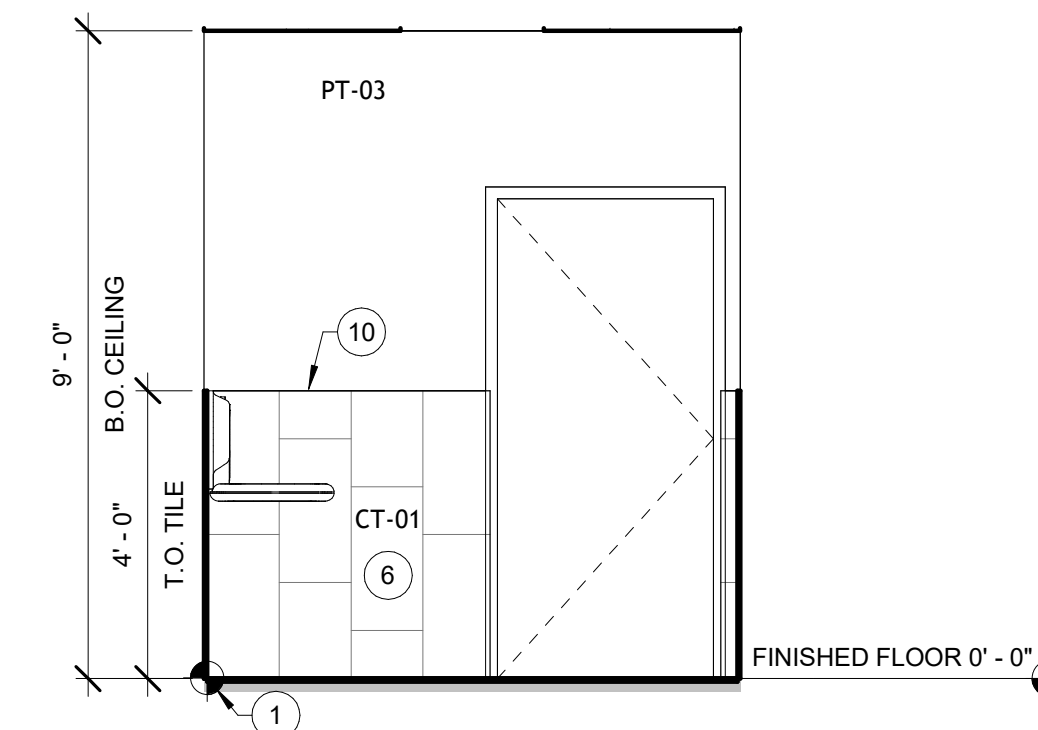
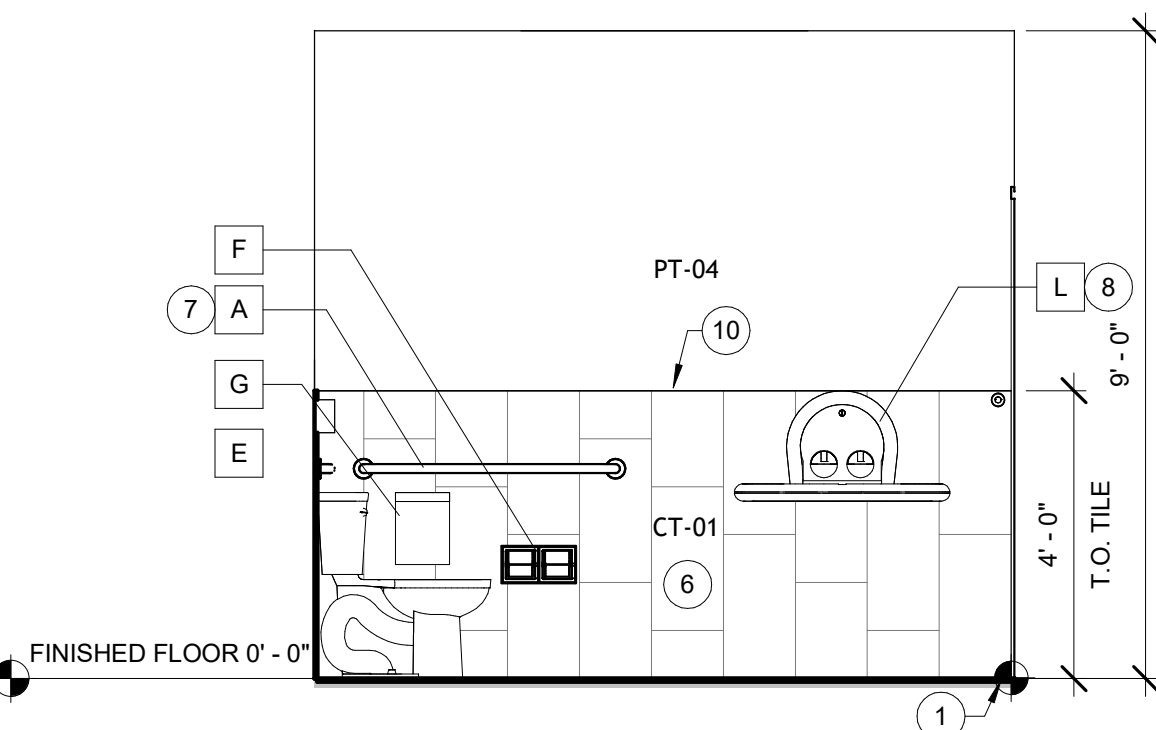
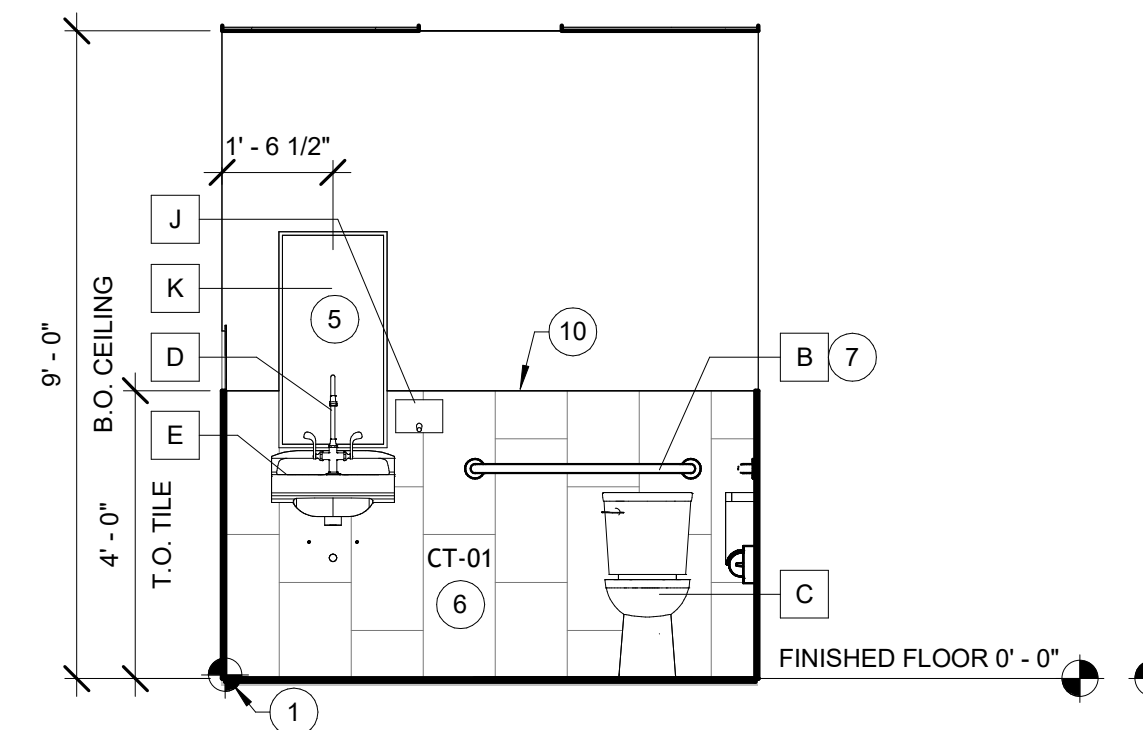
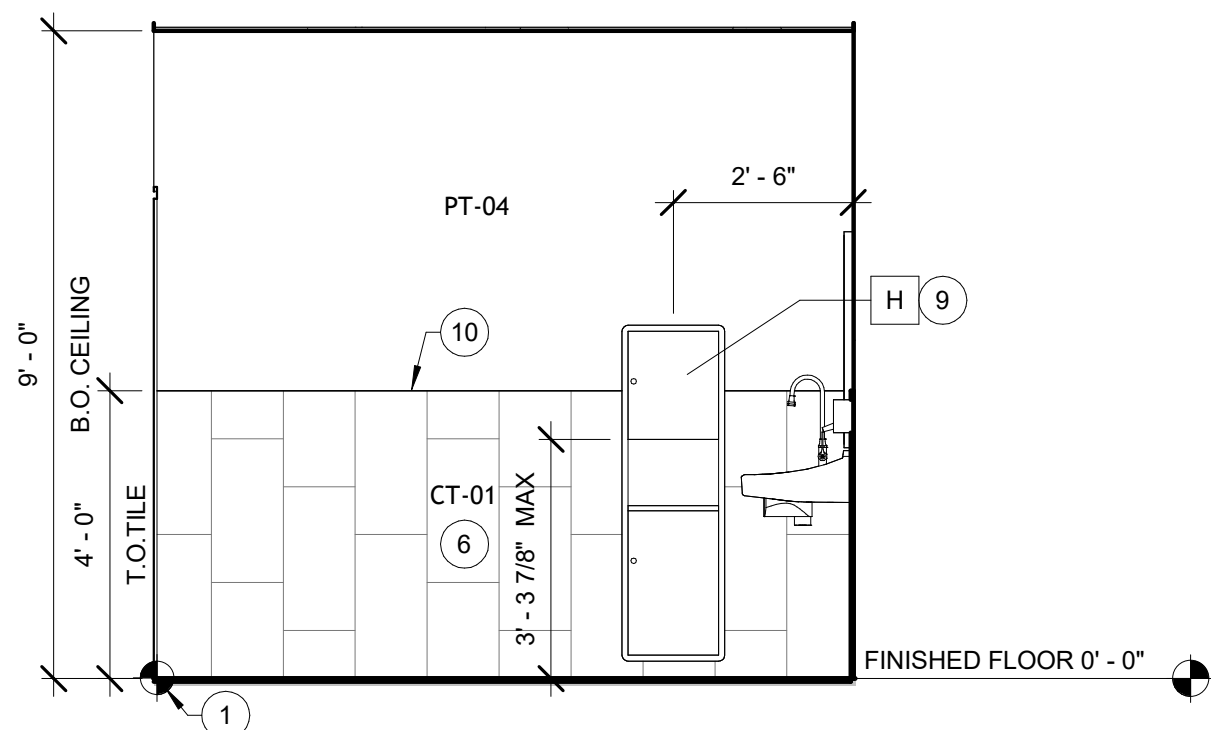
REVISIONS:

No.	Description	Date
1	City Comments Rev.1	06/26/2025
2	City Comments Rev.2	07/29/2025

JOB No.: 33806

DRAWN BY: ABR

A190



NOTE:
ALL PLUMBING FIXTURES MAY BE USED FROM SALVAGED EXISTING STOCK, GC
TO REPLACE IF DAMAGED OR NOT WORKING PROPERLY.

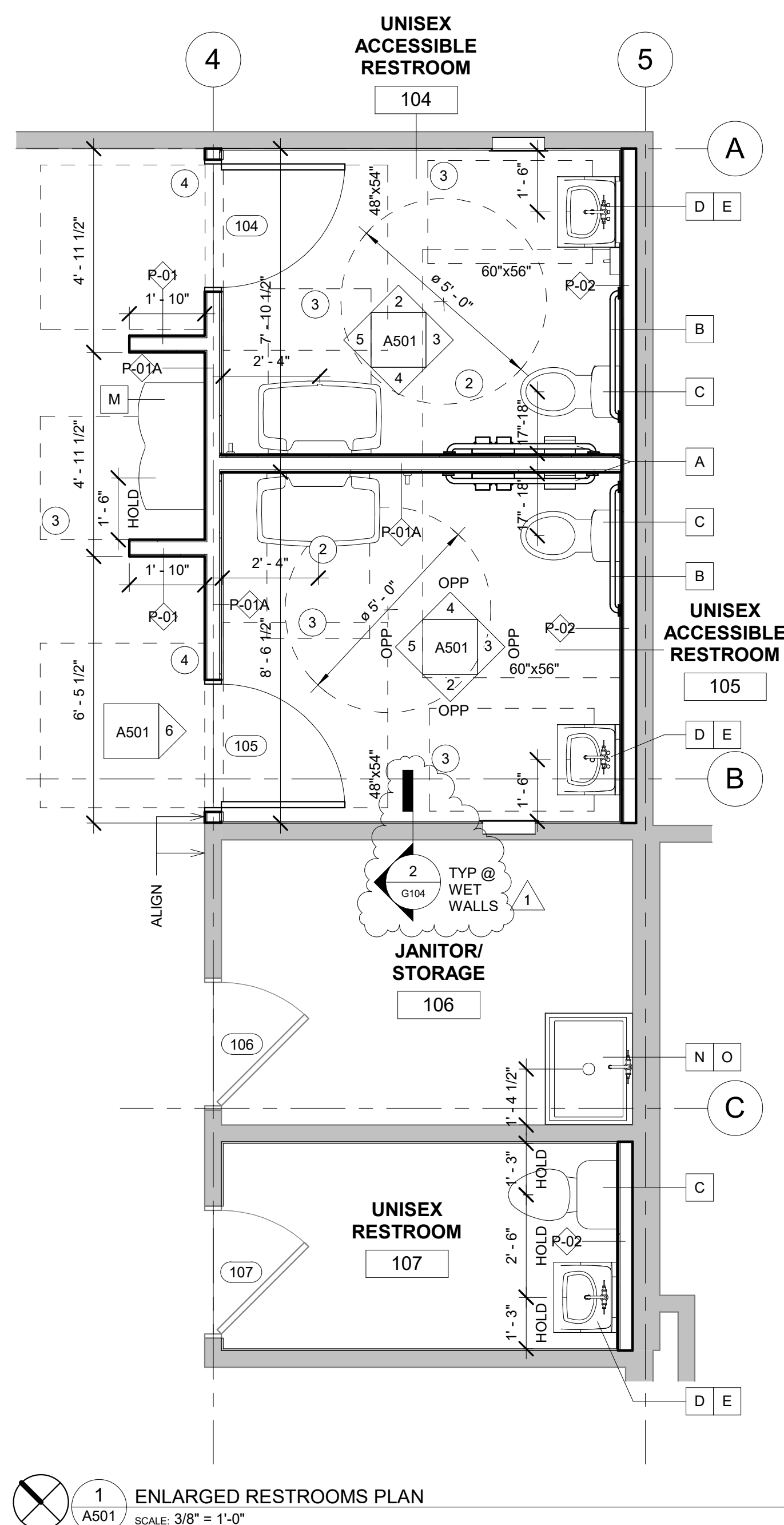
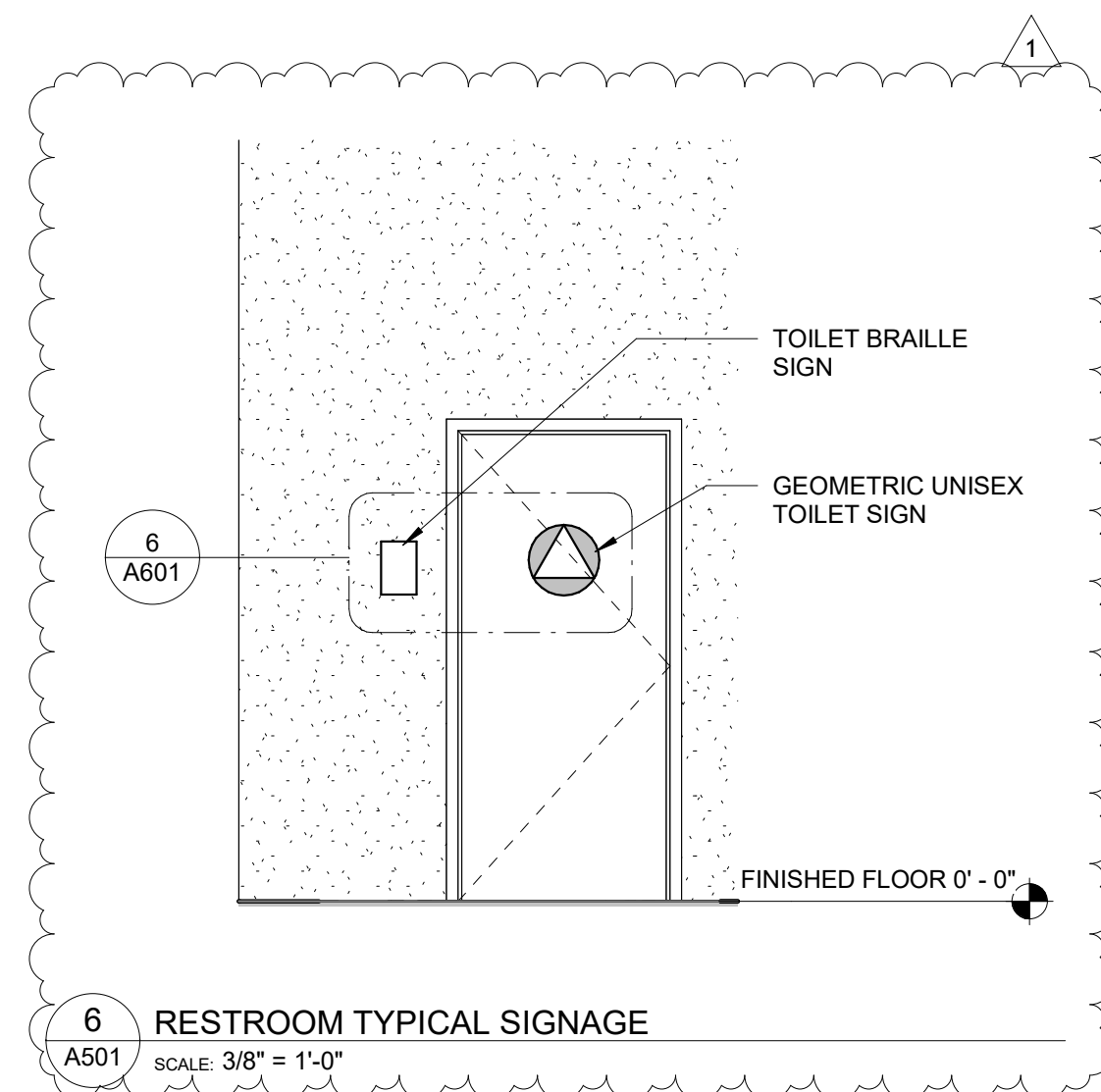
FIXTURE SCHEDULE				
CONTRACTOR IS TO ENSURE THE FIXTURE SCHEDULE AS SPECIFIED OR EQUAL ALL FIXTURES MUST BE ADA COMPLIANT- NO EXCEPTIONS				
ITEM	MANUFACTURER	NO.	FINISH	
A 42" GRAB BARS	BOBRICK	B-5507.99x42"	STAINLESS STEEL	
B 36" GRAB BARS	BOBRICK	B-5507.99x36"	STAINLESS STEEL	
C TOILET	AMERICAN STANDARD	2886204 - ADA	WHITE	
D BATHROOM SINK FAUCET	KOHLER	TRITON BOWE K-400T20-SATA-CP		
E PORCELAIN SINK	KOHLER	BRENNHAM - K 1997-1	WHITE	
F ROLL TOILET TISSUE DISPENSER	BOBRICK	B-6977		
G SANITARY NAPKIN DISPOSAL	BOBRICK	B-353		
H PAPER TOWEL DISPENSER AND TRASH	BRADLEY	MODEL 235		
J SOAP DISPENSER	BOBRICK	818615		
K MIRROR	18" WIDTH X 36" TALL			
L BABY CHANGING TABLE	KOALA	KB-300-01	GREY	
M BLEVEL WATER FOUNTAIN WITH BOTTLE FILLER	ELKAY	LZSTL8WSLP		
N MOP SINK	ZURN	Z1996-24		
O MOP SINK FAUCET	ZURN	JP1996-SF		

NOTE:

1. ALL RESTROOM WALLS TO HAVE SAME TILE PATTERN U.N.O.
2. PROVIDE BOBRIK 256 SERIES CONCEALED ANCHOR PLATE FOR GRAB BAR AT STUD WALLS. VERIFY LENGTH REQUIRED OR PROVIDE IN WALL BLOCKING TO SUPPORT LOADS PER ACCESSIBILITY REQUIREMENTS.
3. CONTRACTOR SHALL LOCATE ALL TOILET ROOM ACCESSORIES PER CURRENT ACCESSIBILITY REQUIREMENTS.
4. PROVIDE BLOCKING AS NEEDED THROUGHOUT.
5. ALIGN WALL AND FLOOR TILE GROUT JOINTS. TYP.

ALTERNATE 01:

USE LVT-01 IN LIEU OF CT-01 ON RESTROOM FLOORS AND FRP IN LIEU OF CT-01 ON WALLS.

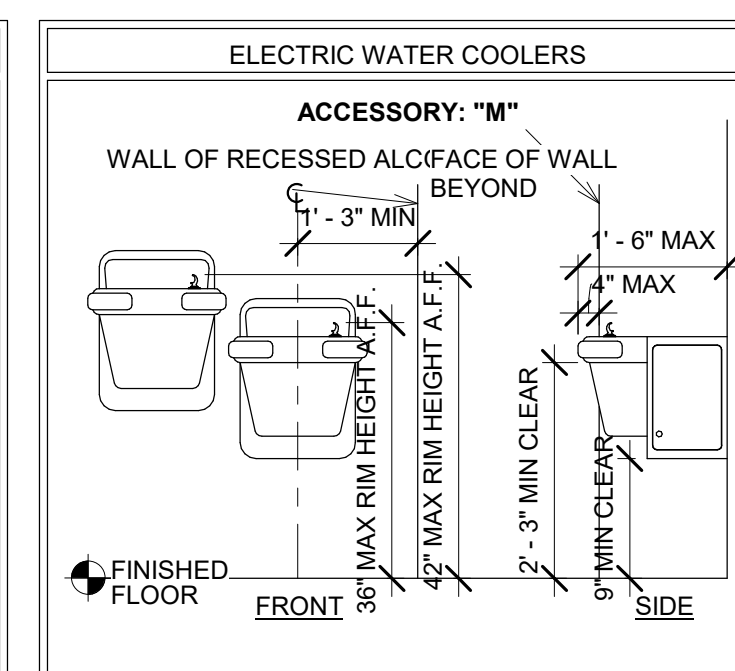
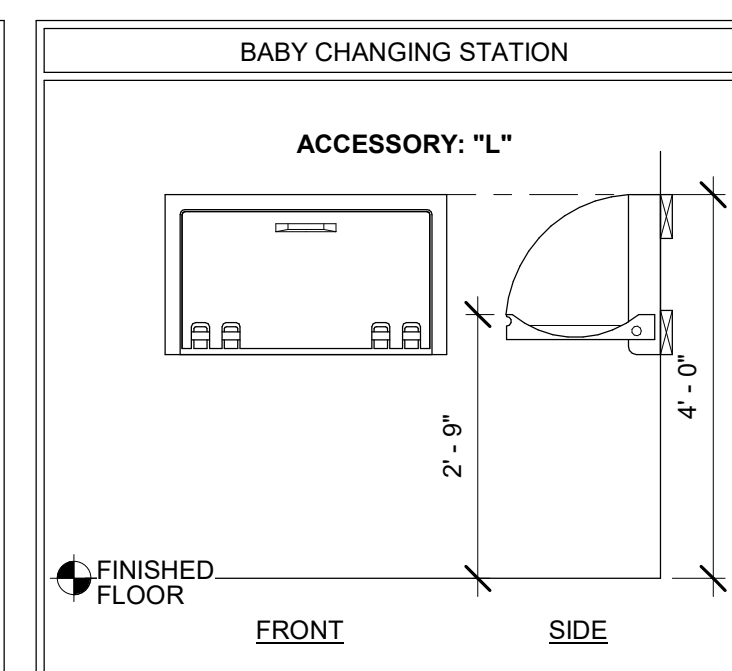
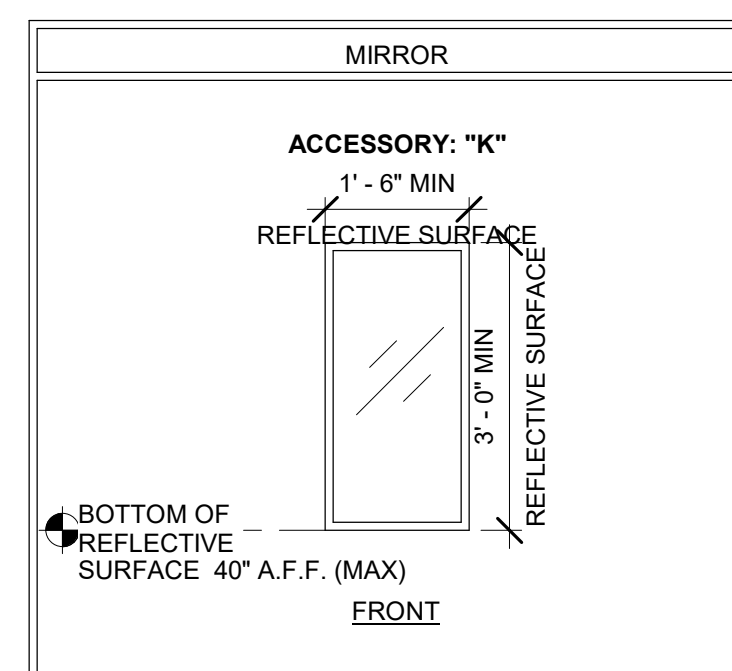
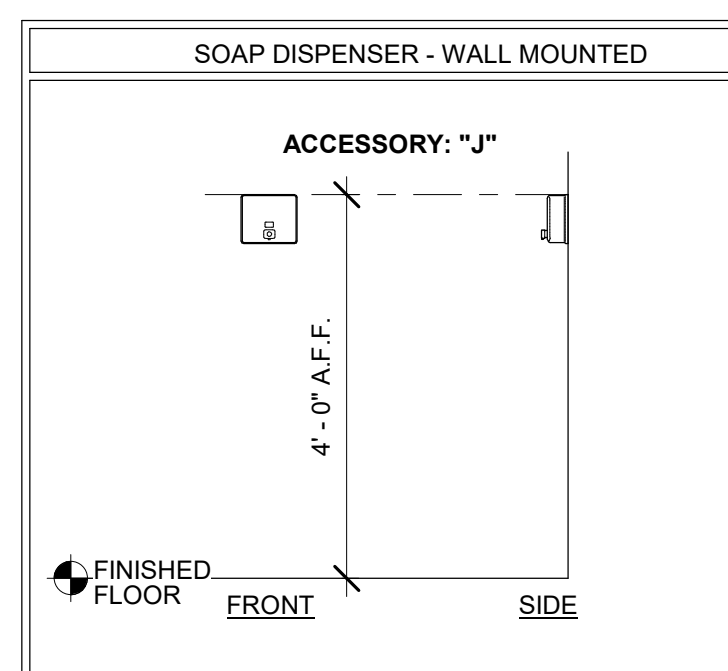
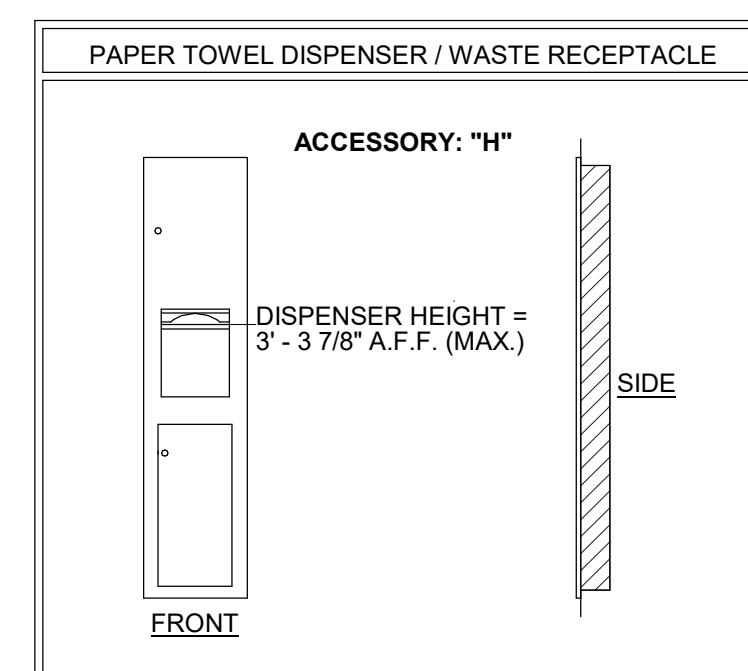
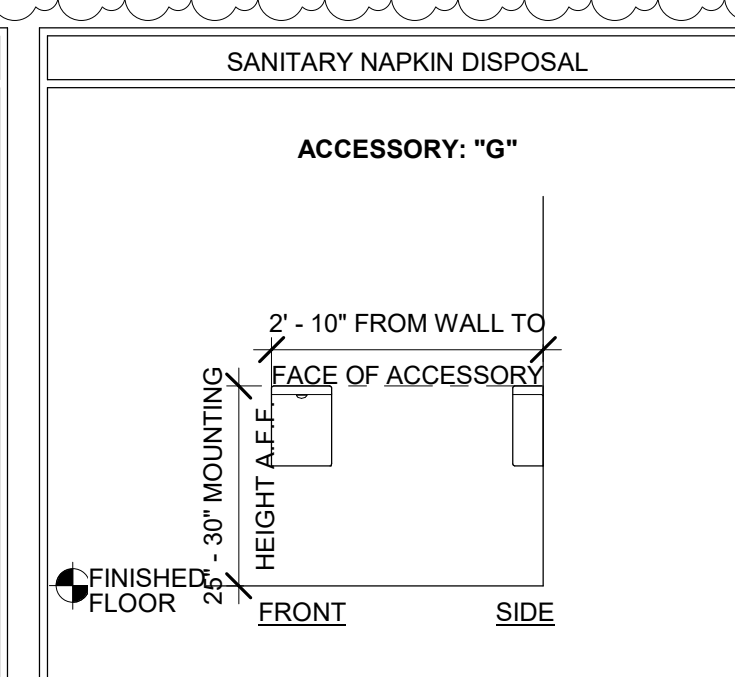
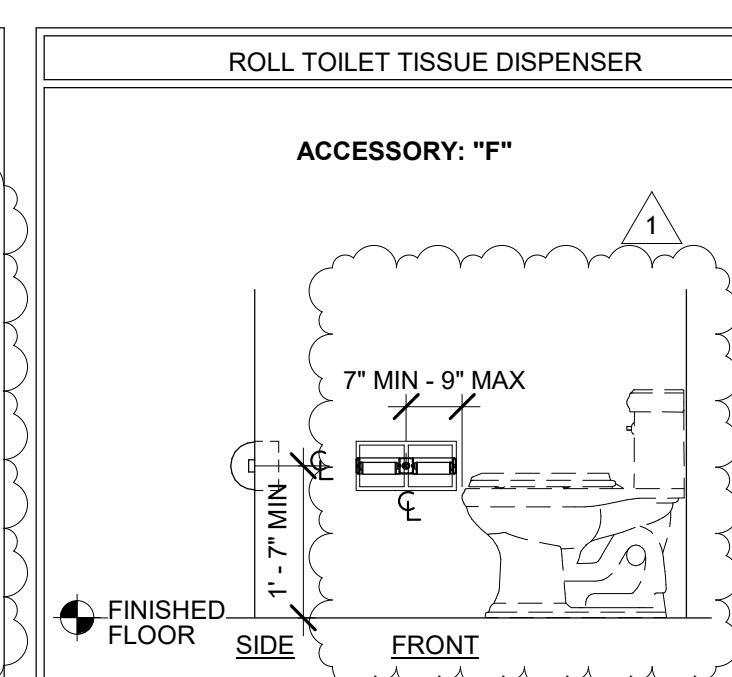
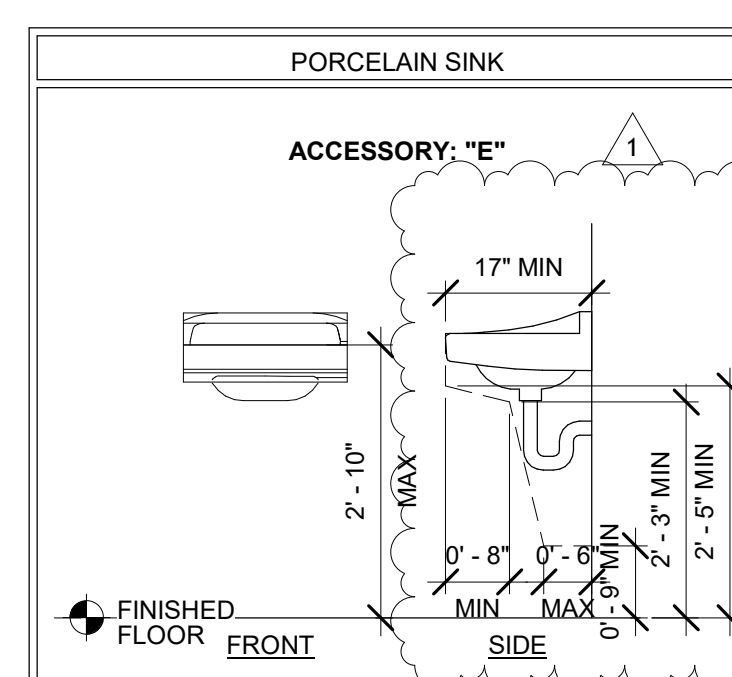
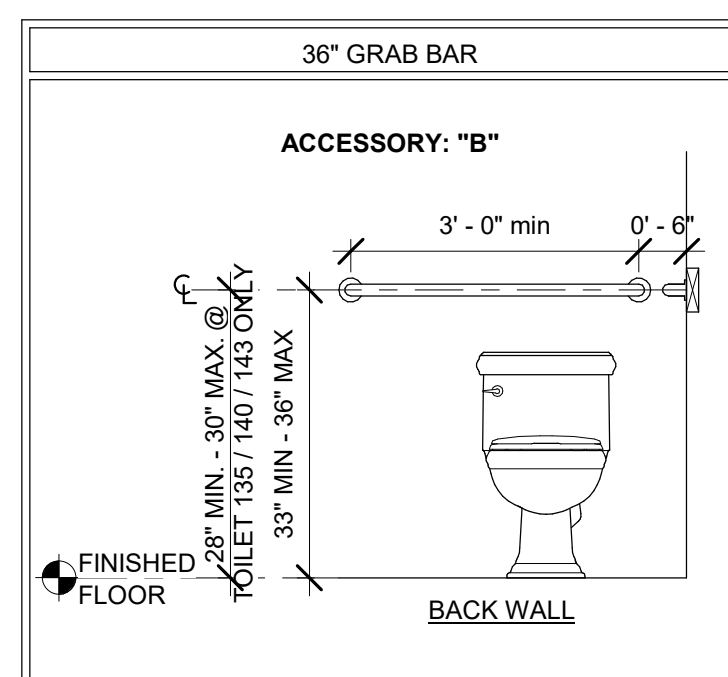
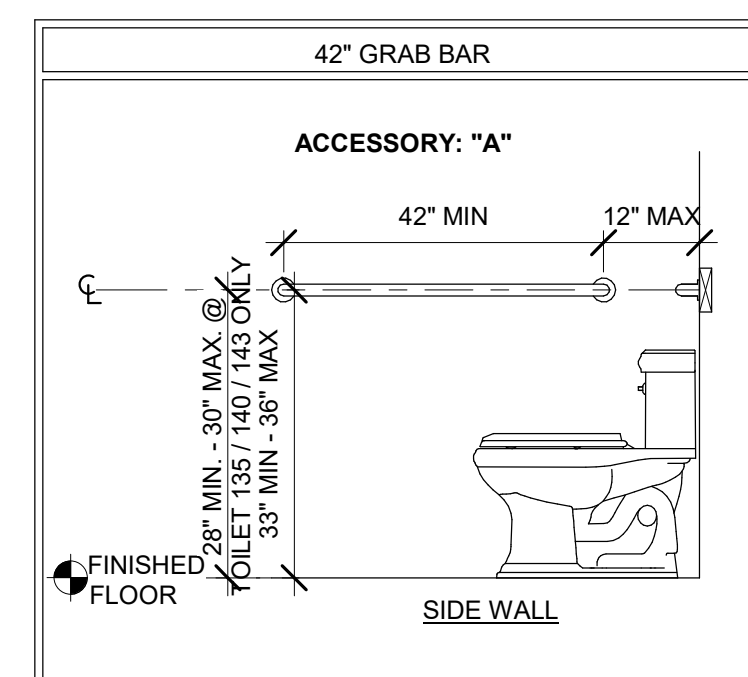
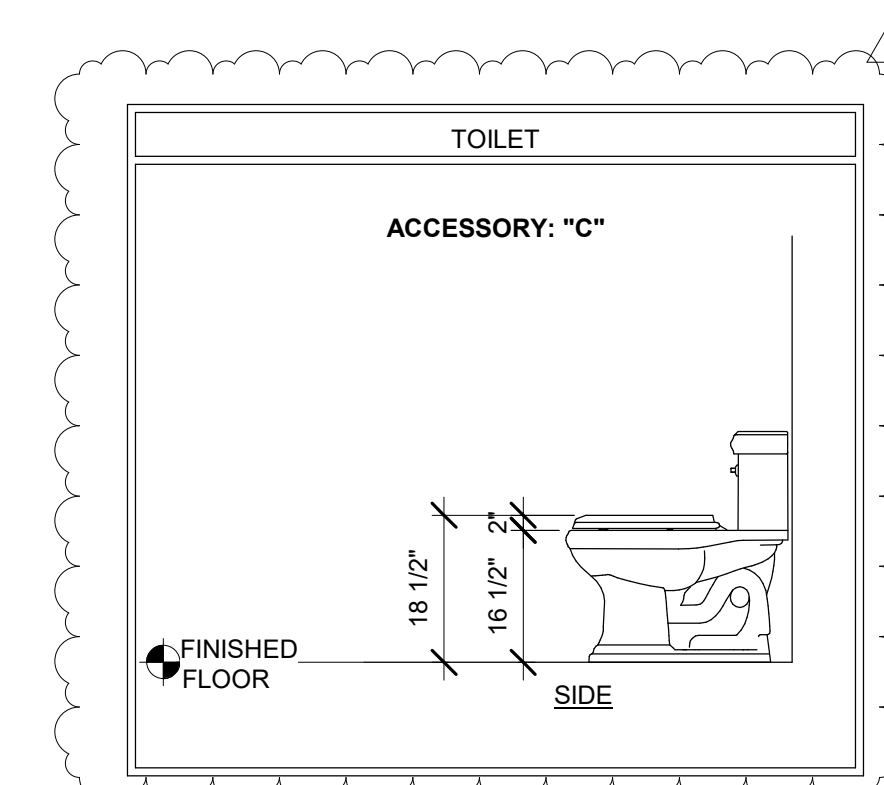


RESTROOM NOTES

- | | |
|----|--|
| A. | GC TO NOTIFY ARCHITECT IMMEDIATELY WHEN THERE IS A CONFLICT AND/OR DISCREPANCY. |
| B. | DIMENSIONS SHOWN ARE FROM FINISH FACE OF WALL/FLOOR. |
| C. | DIMENSION SHOWN ARE PREFERRED DIMENSIONS AND COMPLY WITH THE REQUIREMENTS OF A.D.A.A.G AND A.N.S.I-A117.1 G.C SHALL NOT DEVIATE FROM THESE STANDARDS UNLESS NECESSARY TO COMPLY WITH ADDITIONAL STATE OR LOCAL ACCESSIBILITY REQUIREMENTS. |
| D. | REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION G.C TO PROVIDE CLEAR |
| E. | CAULKING AT ALL WASHROOM FIXTURES AND TILE INTERSECTIONS. |
| F. | REFER TO EQUIPMENT PLAN AND SCHEDULE FOR ADDITIONAL EQUIPMENT INFORMATION. |
| G. | REFER TO FINISH PLAN AND SCHEDULE FOR ADDITIONAL FINISHES INFORMATION. |
| H. | REFER FINISH SCHEDULE FOR CAULKING SCHEDULE. |
| I. | GC TO PROVIDE AND INSTALL ADA RESTROOM SIGNAGE AS REQUIRED BY LOCAL CODE. REFER TO THIS SHEET FOR MINIMUM REQUIREMENTS. |
| J. | REFER TO PLUMBING SHEETS FOR FULL PLUMBING, EQUIPMENT AND ACCESSORY SCHEDULES. |
| K. | REFER TO FLOOR PLAN FOR BLOCKING REQUIREMENTS. |
| L. | GC TO ENSURE ALL ACCESSORIES ARE INSTALLED TO MEET ADA REQUIREMENTS. |
| M. | DO NOT SCALE DRAWINGS |

KEYED NOTES

- 1 START POINT AT CORNER WITH FULL SIZE TILE.
- 2 5'-0" ADA WHEELCHAIR TURNING SPACE
- 3 30" X 48" CLEAR FOR WHEELCHAIR ACCESS
- 4 DOOR CLEARANCE AS SHOWN
- 5 MIRROR IN PUBLIC WASHROOMS TO BE 1'-6" X 3'-0". MIRROR TO BE CENTERED ABOVE VANITIES & SURFACE MOUNTED ON WALL FINISH.
- 6 WALL TILE FINISH - REFER TO FINISH SCHEDULE FOR TYPE. GC TO BE SUPPLIED AND INSTALLED.
- 7 PROVIDE PLYWOOD BACKING IN BETWEEN STUDS TO ACCOMMODATE GRAB BARS. PROVIDE ADEQUATE SIZE.
- 8 PROVIDE ADEQUATE PLYWOOD BACKING IN BETWEEN STUDS AT BABY CHANGE TABLE.
- 9 PROVIDE OPENING IN WALL TO ACCOMMODATE SEMI-RECESSED PAPER TOWEL DISPENSER/ TRASH
- 10 PROVIDE & INSTALL SCHLUTER STRIP "JOLLY" AT TILE TRANSITION.



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DESIGNED BY: CHT



SEAL:

AL:  Jul 29, 2025

**THE Little
gym®**

THE LITTLE GYM IRVINE
3992D BARRANCA PARKWAY
IRVINE, CA 92606

SHEET TITLE:
ENLARGED
RESTROOM &
DETAILS

05/12/2025

REVISIONS:

[illegible]

JOB No.: 33806

DRAWN BY: ABR

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DOOR SCHEDULE													
TAG	ROOM	DOOR STATUS	DOOR WIDTH	DOOR HEIGHT	DOOR DESCRIPTION	DOOR TYPE	DOOR FINISH	FRAME TYPE	FRAME MATERIAL	HARDWARE	INSTALLED BY	FIRE RATING	COMMENTS
101	LOBBY	EXISTING	3' - 0"	6' - 11"	EXISTING STOREFRONT DOOR - SINGLE	A		(E)	(E) ALUMINUM	(E) PUSH /PULL	(E)		REPLACE EXISTING DEADBOLT WITH A KEY OPERATED ONE. EXISTING PUSH/PULL HORIZONTAL BAR ON BOTH SIDES TO REMAIN
102B	MPR	RELOCATED	3' - 0"	7' - 0"	RELOCATED EXISTING GLASS DOOR	E		N/A	N/A	(E) PUSH /PULL	GC	NO	ENSURE EXISTING LOCK AND HARDWARE ARE IN GOOD WORKING CONDITION
102E	LOBBY	NEW	5' - 11"	7' - 0"	STOREFRONT TO MATCH EXISTING	A		A	ALUMINUM	1	GC		DOORS TO OPEN 180°, ADD DOOR STOP IN BOTH DOORS
103A	GYMNASTIC	RELOCATED	3' - 4"	7' - 0"	RELOCATED EXISTING GLASS DOOR	E		N/A	N/A	(E) PUSH /PULL	GC	NO	ENSURE EXISTING LOCK AND HARDWARE ARE IN GOOD WORKING CONDITION
103B	GYMNASTIC	EXISTING	3' - 0"	6' - 8"	EXISTING REAR SERVICE DOOR	D		N/A	N/A	(E) PANIC BAR	(E)		EXISTING PANIC BAR TO REMAIN
104	UNISEX ACCESSIBLE RESTROOM	RELOCATED	3' - 0"	6' - 8"	RELOCATED EXISTING INTERIOR DOOR	B	L2	A	METAL	(E) LEVER STYLE	GC		ENSURE EXISTING LOCK AND HARDWARE ARE IN GOOD WORKING CONDITION
105	UNISEX ACCESSIBLE RESTROOM	RELOCATED	3' - 0"	6' - 8"	RELOCATED EXISTING INTERIOR DOOR	B	L2	A	METAL	(E) LEVER STYLE	GC		ENSURE EXISTING LOCK AND HARDWARE ARE IN GOOD WORKING CONDITION
106	JANITOR / STORAGE	EXISTING	3' - 0"	6' - 8"	EXISTING INTERIOR DOOR	B	L2	(E)	(E)	(E) LEVER STYLE	(E)		ENSURE EXISTING LOCK AND HARDWARE ARE IN GOOD WORKING CONDITION
107	UNISEX RESTROOM	EXISTING	3' - 0"	6' - 8"	EXISTING INTERIOR DOOR	B	L2	(E)	(E)	(E) LEVER STYLE	(E)		ENSURE EXISTING LOCK AND HARDWARE ARE IN GOOD WORKING CONDITION

HARDWARE SET	
HARDWARE SET 1 - INTERIOR DOUBLE DOOR	
CONTINUOUS HINGE: (2) HAGER 780-112HD, ALUMINUM FINISH EXIT DEVICE: (2) STANLEY QED211 626, EGRESS (PANIC) BAR EXIT DEVICE TRIM (HANDLE): (2) ROCKWOOD BF156 US26D, 8 IN. OFFSET, ALUMINUM PULL DOOR CLOSER: (2) LCN 4040XP ALUMINUM DOOR SWEEP: (4) NGP 600A, ALUMINUM, NYLON BRUSH, SURFACE MOUNTED FLOOR STOP: (2) TRIMCO 1215SKU, 626	

DOOR SCHEDULE & HARDWARE NOTES	
1. ALL HARDWARE IS NEW UNLESS OTHERWISE NOTED. 2. ALL DOOR LOCSETS/LATCHES SHALL BE "LEVER TYPE" IN COMPLIANCE WITH A.D.A.G (SECTION 4.1.3.9) 3. ALL DOOR HANDLES, PULLS, LATCHES, LOCKS, AND/OR OTHER OPERATING DEVICES SHALL BE INSTALLED BETWEEN 34" MINIMUM AND 48" MAXIMUM ABOVE FINISHED FLOOR. 4. ALL DOOR THRESHOLDS SHALL BE IN 1/2" HIGH MAXIMUM. 5. ALL DOOR CLOSERS SHALL BE ADJUSTED SO THAT FROM THE OPEN POSITION OF 70 DEGREES, THE DOOR WILL TAKE AT LEAST 3 SECONDS TO MOVE TO A POINT 3 INCHES FROM THE LATCH, MEASURED TO THE LEAD EDGE (A.D.A.G SECTION 4.1.3.9) 6. ALL EGRESS DOORS SHALL BE READILY OPERABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT. 7. LOCKSETS SHALL BE "KEYED" PER TENANT REQUIREMENTS. "KEYS" ARE TO BE PROPERLY TESTED. THE NUMBER OF MASTER & PASS KEYS SHALL BE COORDINATED WITH LANDLORD. 8. ALL EXTERIOR DOORS SHALL BE WEATHERSTRIPPED. ALL EXTERIOR JOINTS AROUND DOOR FRAMES & WINDOWS & AT ALL PENETRATIONS THROUGH BUILDING ENVELOPE SHALL BE SEALED USING SEALANT & CAULKING. ADDITIONALLY, FOAM INSULATION SHALL BE PROVIDED IN & AROUND ALL WINDOW AND/OR DOOR FRAMES WHERE METAL MEETS WOOD FRAMING PLUS ALL EXTERIOR WALL OPENINGS/PENETRATIONS. 9. LOCATION TO BE DETERMINED IN FIELD BY CONSTRUCTION PROJECT MANAGER. 10. ALL DOOR CLOSERS ARE TO BE ADJUSTED TO COMPLY WITH THE FOLLOWING REQUIREMENTS: A. MAXIMUM EFFORT TO OPERATE DOORS (PUSH/PULL) SHALL NOT EXCEED 5 POUNDS FOR EXTERIOR DOORS AND 5 POUNDS FOR INTERIOR DOORS. B. SWEEP PERIOD OF DOORS FROM AN OPEN POSITION OF 70 DEGREES SHALL TAKE AT LEAST 3 SECONDS TO MOVE TO A POINT 3" FROM THE LATCH, MEASURED TO THE LEADING EDGE OF THE DOOR. 11. HAND ACTIVATED DOOR OPENING HARDWARE TO BE MOUNTED AT 48" MAX. ABOVE THE FLOOR, AND TO BE OPERABLE WITH A SINGLE EFFORT BY LEVER TYPE OR EQUIVALENT HARDWARE. 12. ALL REQUIRED EXIT DOORWAYS SHALL HAVE A MINIMUM 32" CLEAR OPENING WITH THE DOOR AT 90 DEG. TO THE CLOSED POSITION. 13. ALL EXTERIOR DOORS TO RECEIVE DOOR STOP. 14. GLAZING STRIPS VISIBLE AROUND INTERIOR EDGES OF INSULATED GLAZING SHALL MATCH STOREFRONT COLOR. 15. PROVIDE ALUMINUM CHECKER PLATE ON INSIDE FACE OF DOOR. 16. INSTALL DOOR STOPS AT ALL EXTERIOR DOORS. 17. ALL GLAZING WITHIN DOORS SHALL BE TEMPERED AS REQUIRED BY CODE. 18. INTERIOR WOOD DOORS AND WINDOW TRIM TO BE 1X4 PAINTED WHITE. 19. ALTERNATIVE FINISH TO L2= WHITE PAINT - PREP AS NEEDED	

WINDOW SCHEDULE					
MARK	R.O. SIZE	CONST.	GLASS TYPE	HEAD HEIGHT	REMARKS
1	18'-6 1/2" X 5'-8"	ALUM	TEMPERED	7'-2"	
2	17'-7" X 5'-8"	ALUM	TEMPERED	7'-2"	

NOTES:

REFER TO ELEVATIONS FOR SPECIFIC DIMENSIONS AND ADDITIONAL DETAIL INFORMATION.

WINDOW CONTRACTOR SHALL FIELD VERIFY ALL ROUGH OPENINGS FOR ALL WINDOWS PRIOR TO PREPARATION OF SHOP DRAWINGS.

DOOR TYPES				
TYPE "A"	TYPE "B"	TYPE "C"	TYPE "D"	TYPE "E"
ALUMINUM DOOR W/ TEMPERED GLAZING	WOOD DOOR	INSULATED HOLLOW METAL DOOR	INSULATED HOLLOW METAL DOOR	TEMPERED GLAZING DOOR

DOOR FRAMES
TYPE "A"
NOTE: GC TO VERIFY THE WALL THICKNESS PRIOR TO ORDERING DOOR FRAMES

TACTILE SIGNAGE	
ALL SIGNAGE SHALL CONFORM WITH LATEST TAS GUIDELINES: 1. CHARACTERS SHALL BE RAISED 1/32" MINIMUM ABOVE THEIR BACKGROUND. 2. CHARACTERS SHALL BE UPPERCASE AND SANS SERIF 3. CHARACTERS SHALL BE ACCOMPANIED BY GRADE II BRAILLE. 4. RAISED CHARACTERS SHALL BE AT LEAST 5/8" HIGH, BUT NOT HINGER THAN 2" 5. PICTOGRAMS SHALL BE ACCOMPANIED BY THE EQUIVALENT VERBAL DESCRIPTION PLACED DIRECTLY BELOW THE PICTOGRAM 6. CHARACTERS AND THEIR BACKGROUND SHALL HAVE A NON-GLARE FINISH. 7. CHARACTERS SHALL CONTRAST WITH THIER BACKGROUND 8. SIGN SHALL BE MOUNTED TO THE LATCH SIDE OF THE DOOR AND HAVE A MOUNTING HEIGHT OF 60" ABOVE THE FINISH FLOOR TO THE CENTERLINE OF THE SIGN.	
THIS DOOR TO REMAIN UNLOCKED WHEN THIS SPACE IS OCCUPIED	
*DOOR VINYL SIGN. POSTED ON THE EGRESS SIDE OR ADJACENT TO THE DOOR ON A CONTRASTING BACKGROUND	
*WINDOW VINYL DETAIL 3M SCOTCHCAL 7725-2 MATTE WHITE VINYL GRAPHICS APPLIED TO EXTERIOR OF WINDOW GLASS	*WINDOW EXIT SIGN DETAIL. TO BE PLACED ON RIGHT STOREFRONT WINDOW 1/16" CLEAR PHOTOPOLYMER PANEL WITH RAISED 1/32" TACTILE COPY AND GRADE 2 BRAILLE. COPY PAINTED BLACK ON FACE. PANEL AND BRAILLE TO REMAIN CLEAR. AFFIXED WITH CLEAR MACTAC ADHESIVE FILM TO ENTIRE BACK OF PLAQUE TO DUSTED CRYSTAL 7725SE-314 VINYL IN MATCHING SIZE ON INTERIOR OF WINDOW GLASS.
6 TACTILE SIGNAGE A601 SCALE: NOT TO SCALE	

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Jul 29, 2025

THE Little Gym

THE LITTLE GYM IRVINE
3992D BARRANCA PARKWAY
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SHEET TITLE:
DOORS & WINDOWS SCHEDULE

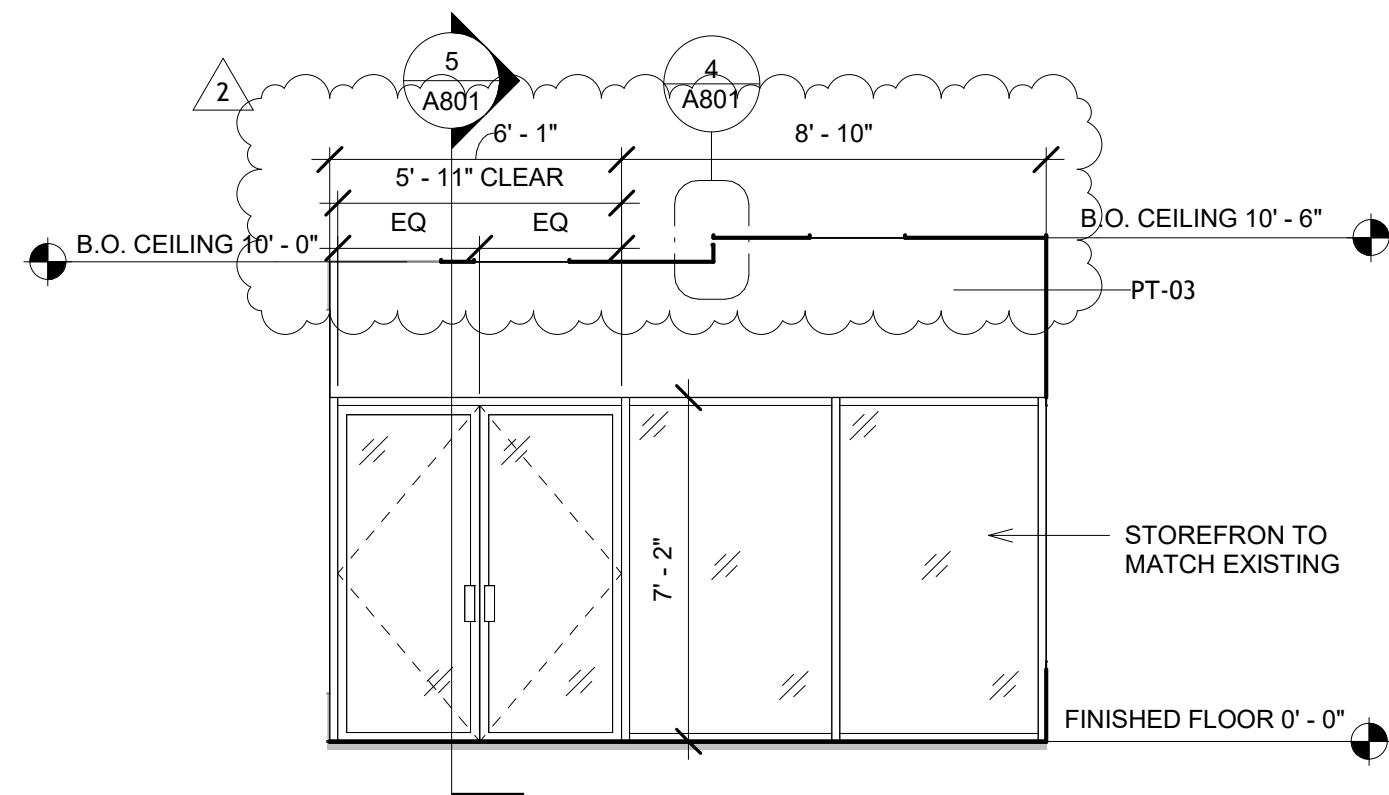
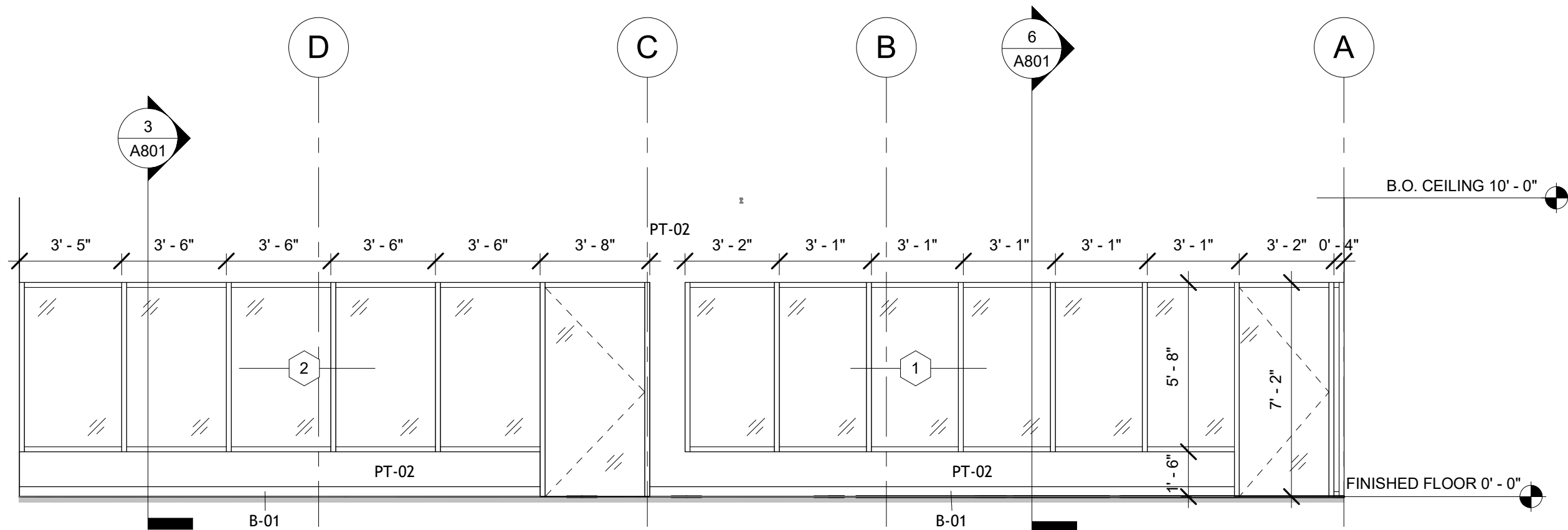
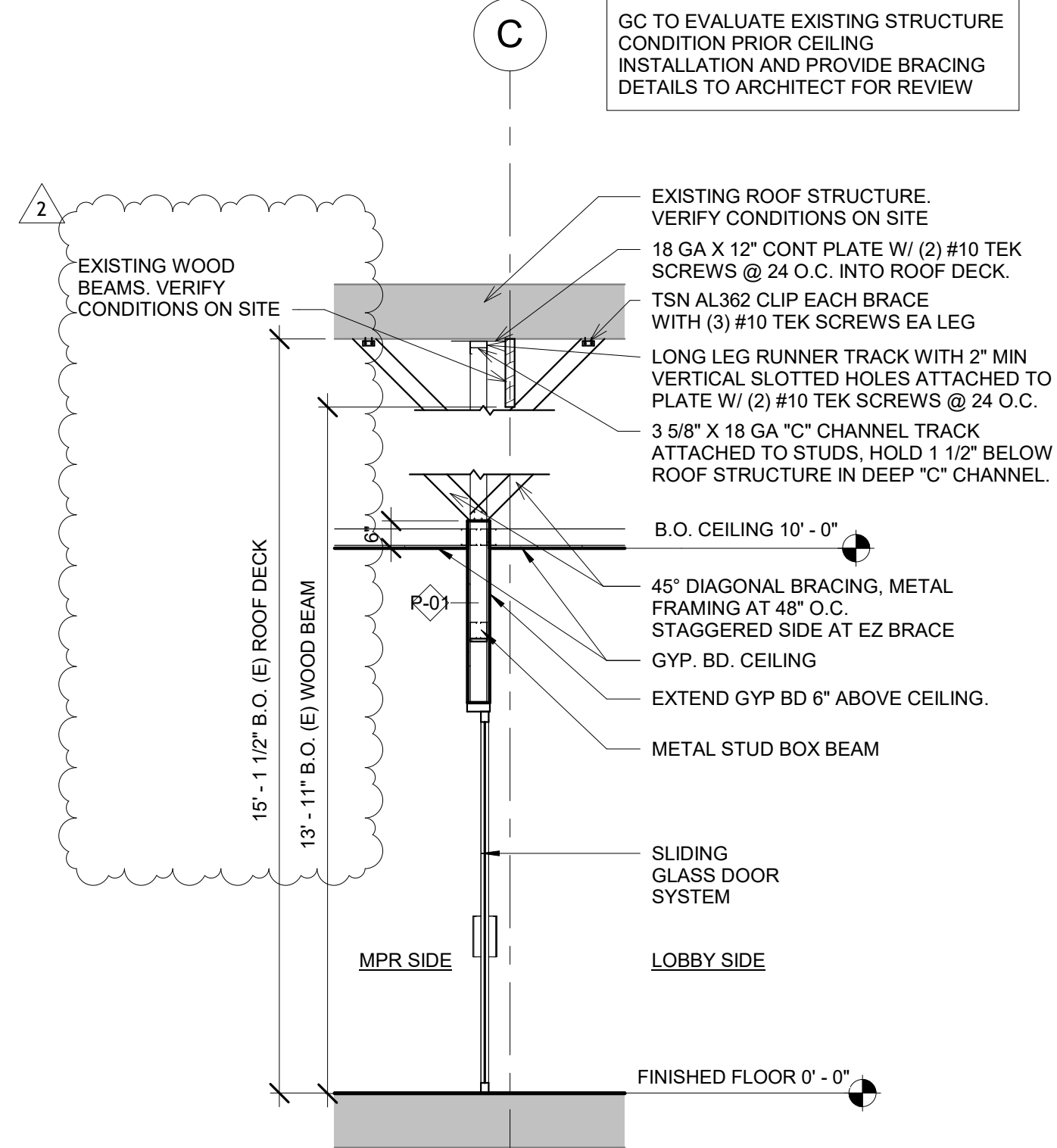
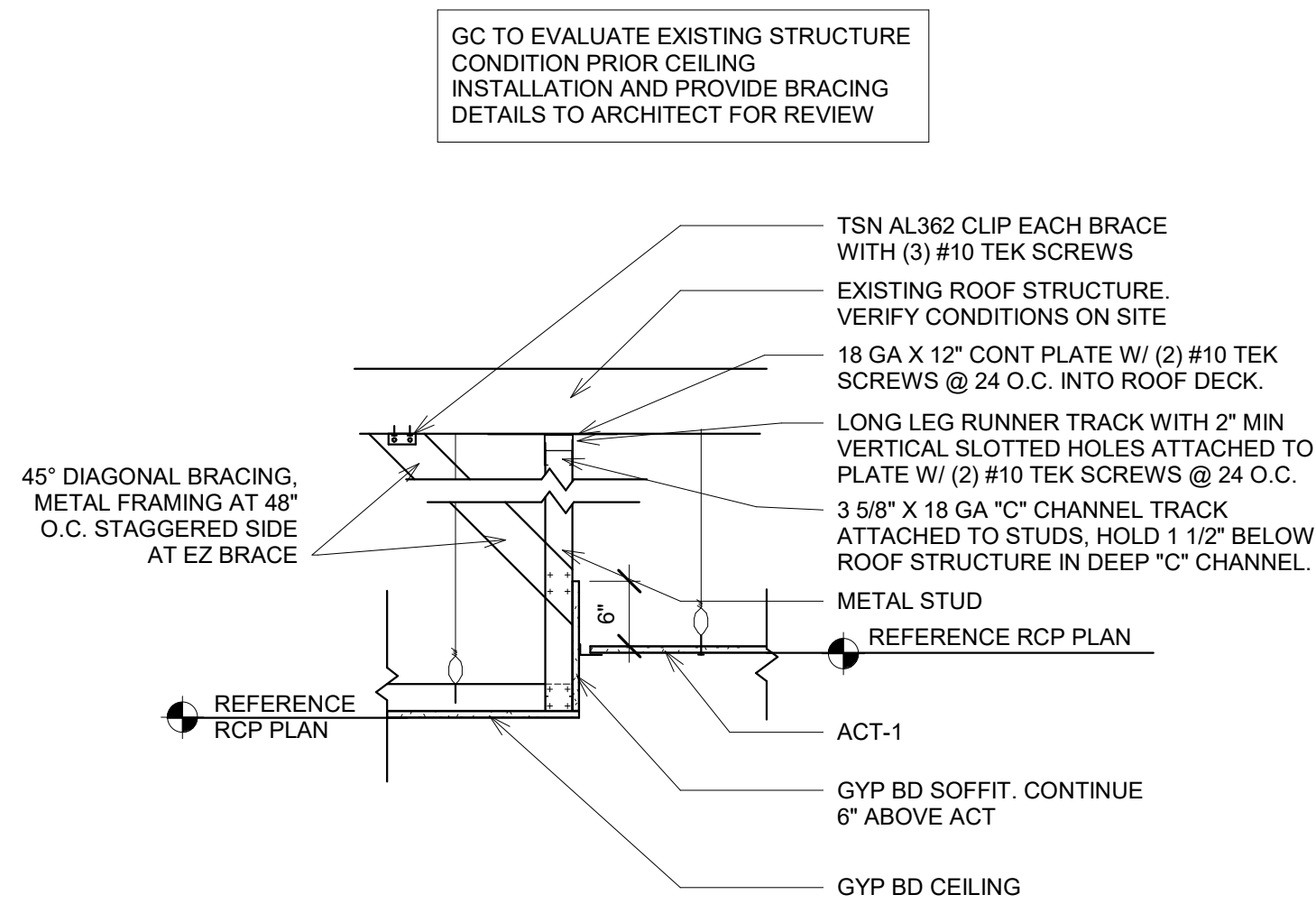
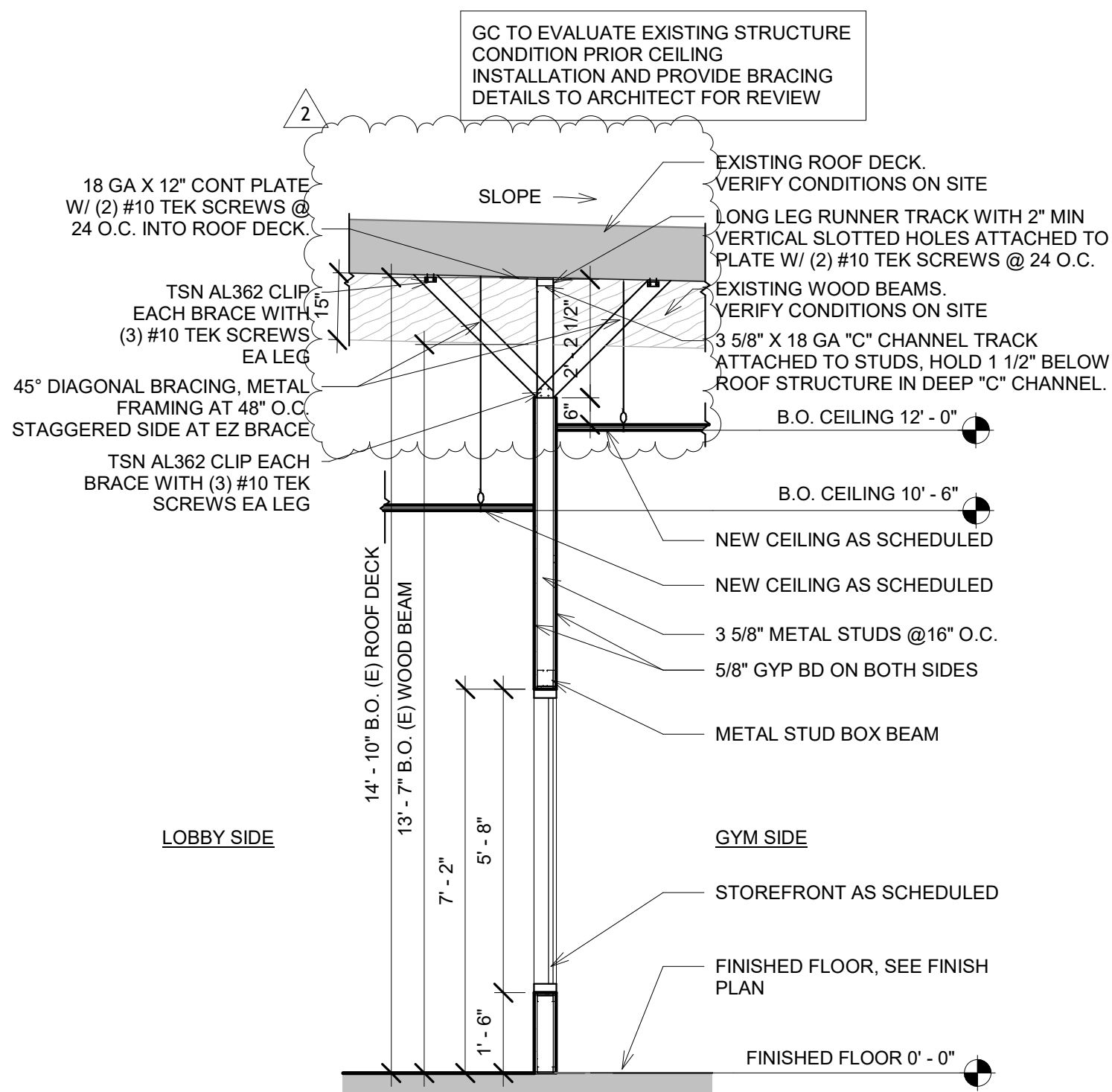
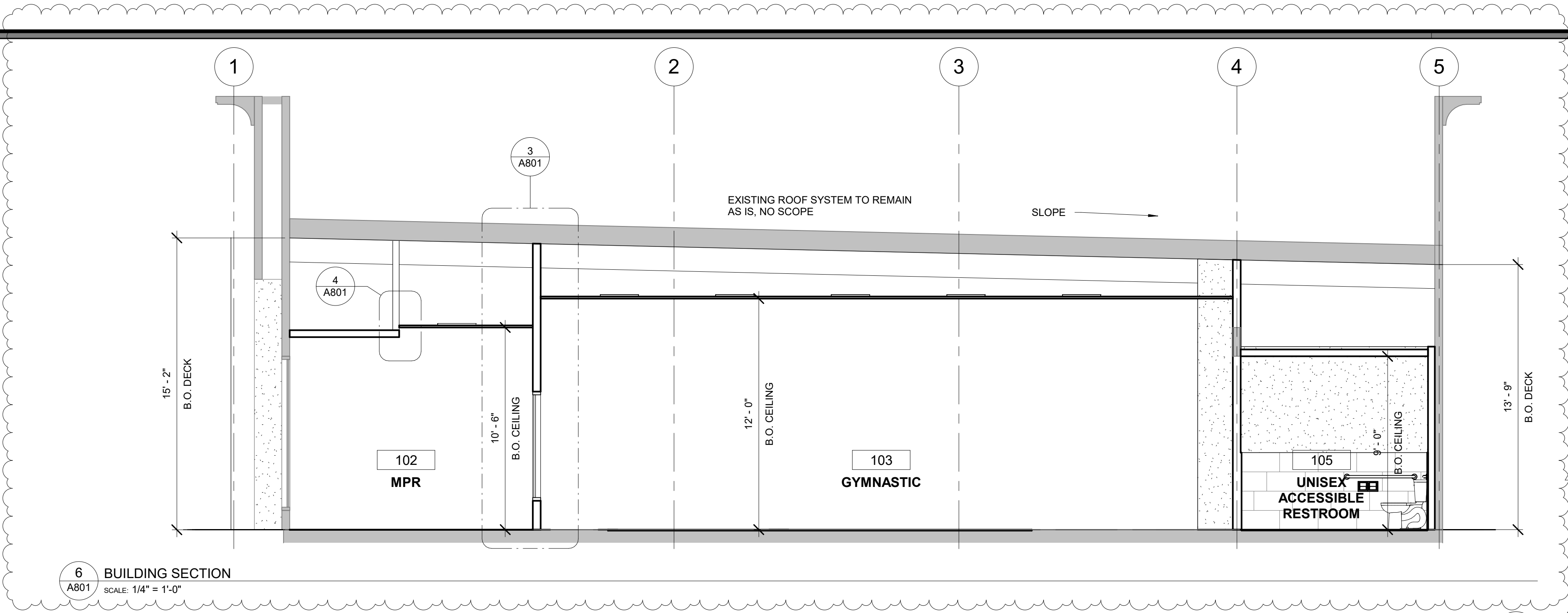
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REVISIONS:		
No.	Description	Date
1	City Comments Rev.1	06/26/2025
2	City Comments Rev.2	07/29/2025

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THE Little Gym IRVINE
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HVAC SPECIFICATIONS

- A. GENERAL CONDITIONS OTHER CONTRACT DOCUMENTS
1. THE GENERAL CONDITIONS AND OTHER CONTRACT DOCUMENTS AS SET FORTH HEREBY ARE TO BE INCORPORATED INTO AND BECOME A PART OF THE SPECIFICATIONS FOR THE WORK UNDER THIS DIVISION.
- B. CODES AND PERMITS
1. COMPLY WITH RULES, REGULATIONS OF STATE, COUNTY, AND CITY AUTHORITIES HAVING JURISDICTION OVER THE PREMISES, INCLUDING SAFETY REQUIREMENTS OF OSHA, DO NOT CONSTITUTE THIS AS RELIEVING CONTRACTOR FROM COMPLYING WITH SPECIFICATIONS WHICH EXCEED CODE REQUIREMENTS AND NOT IN CONFLICT THEREWITH.
2. SECURE AND PAY FOR ALL PERMITS AND CERTIFICATES OF INSPECTION REQUIRED. MAKE PAYMENTS TO ALL PUBLIC UTILITIES FOR WORK PERFORMED BY THEM IN PROVIDING SERVICE CONNECTIONS.
- C. LOCAL CONDITIONS
1. VISIT SITE, BECOME FAMILIAR WITH CONDITIONS AFFECTING THIS WORK. NO ADDITIONAL PAYMENT WILL BE MADE ON CLAIMS THAT ARISE FROM LACK OF KNOWLEDGE OF EXISTING CONDITIONS.
2. THIS CONTRACTOR SHALL BE HELD TO HAVE EXAMINED THE PREMISES AND SITE SO AS TO COMPARE THEM WITH THE DRAWINGS AND SPECIFICATIONS. NO ALLOWANCE SHALL BE MADE TO THE CONTRACTOR BY REASON OF HIS FAILURE TO HAVE MADE SUCH EXAMINATION OR OF ANY ERROR ON HIS PART.
- D. DRAWINGS
1. DRAWINGS AND SPECIFICATIONS ARE TO BE CONSIDERED AS SUPPLEMENTING EACH OTHER. WORK SPECIFIED SHALL BE PERFORMED OR FURNISHED AS THOUGH MENTIONED IN BOTH SPECIFICATIONS AND DRAWINGS.
2. THE DRAWINGS ARE SCHEMATIC ONLY AND ARE INTENDED TO SHOW THE APPROXIMATE LOCATIONS. DO NOT SCALE.
- E. SHOP DRAWINGS
1. THIS CONTRACTOR SHALL SUBMIT SHOP DRAWINGS ON THE ITEMS OF EQUIPMENT AND SYSTEMS AS NECESSARY TO CLEARLY SHOW EQUIPMENT AND CONSTRUCTION.
- F. SUPERVISION
1. THIS CONTRACTOR SHALL HAVE IN CHARGE OF THE WORK, A COMPETENT SUPERINTENDENT WITH EXPERIENCE IN THE WORK TO BE INSTALLED UNDER THIS CONTRACT.
- G. COORDINATION
1. THIS CONTRACTOR SHALL COORDINATE HIS WORK AND COOPERATE WITH THE OTHER CONTRACTORS. HE SHALL ARRANGE HIS WORK WITH THEIRS SO THAT THERE WILL BE NO DELAY IN THE PROPER INSTALLATION.
2. EXAMINE WORK OF OTHER TRADES WHICH COMES IN CONTACT WITH OR IS COVERED BY THIS WORK. DO NOT ATTACH TO, COVER, OR FINISH AGAINST ANY DEFECTIVE WORK, OR INSTALL WORK OF THIS DIVISION IN A MANNER WHICH WILL PREVENT OTHER TRADES FROM PROPERLY INSTALLING THEIR WORK. CONSULT ALL DRAWINGS, SPECIFICATIONS AND DETAILS OF OTHER DIVISIONS OF THE WORK.
- H. CUTTING AND PATCHING
1. ALL CUTTING AND PATCHING WORK RELATED TO THIS CONTRACT WILL BE THE RESPONSIBILITY OF THIS CONTRACTOR.
- I. GUARANTEE AND WARRANTIES
1. WARRANT THAT EQUIPMENT AND ALL WORK IS INSTALLED IN ACCORDANCE WITH GOOD ENGINEERING PRACTICE AND THAT ALL EQUIPMENT WILL MEET REQUIREMENTS SPECIFIED, ANY EQUIPMENT FAILING TO PERFORM OR FUNCTION AS SPECIFIED SHALL BE REPLACED WITH COMPLYING EQUIPMENT, WITHOUT COST TO THE OWNER.
2. GUARANTEE AGAINST DEFECTS IN WORKMANSHIP AND MATERIALS, MAKE GOOD REPAIR OR REPLACE ANY DEFECTIVE WORK, MATERIAL OR EQUIPMENT WITHIN ONE YEAR FROM DATE OF ACCEPTANCE.
- J. INSTALLATION REQUIREMENTS
1. LOCATION OF EQUIPMENT, DUCTS, ETC., ON THE DRAWINGS IS DIAGRAMMATIC; INDICATED POSITIONS SHALL BE CLOSELY AS POSSIBLE. EXACT LOCATIONS SHALL BE SUBJECT TO BUILDING CONSTRUCTION AND INTERFERENCES WITH OTHER WORK. ARCHITECT RESERVES RIGHT TO MAKE MINOR CHANGES IN LOCATION OF ANY PART OF THE WORK UP TO THE TIME OF ROUGHING-IN WITHOUT ADDITIONAL COST.
- K. TEST AND ADJUSTMENTS
1. OBTAIN ALL INSPECTIONS REQUIRED BY LAW, ORDINANCES, RULES, REGULATIONS OF AUTHORITIES HAVING JURISDICTION, FURNISH CERTIFICATES OF SUCH INSPECTIONS, PAY ALL FEES AND PROVIDE ALL EQUIPMENT, POWER AND LABOR NECESSARY FOR INSPECTIONS AND TEST.
2. PRESSURE TESTS
- a. TEST MEDIUM FOR REFRIGERANT PIPING SHALL BE OIL PUMPED DRY NITROGEN. TWENTY-FOUR HOUR STANDING TIME MINIMUM. TEST THE LOW SIDE OF THE SYSTEM TO 150 PSIG AND THE HIGH SIDE TO 300 PSIG. TESTS SHALL CONFORM TO ANSI STANDARD B31.5 "REFRIGERATION PIPING."
- L. HVAC SYSTEMS ADJUSTMENTS AND BALANCE
1. PUT ALL HEATING, VENTILATING, EXHAUST AND AIR CONDITIONING SYSTEMS AND EQUIPMENT INTO FULL OPERATION AND CONTINUE OPERATION OF SAME DURING EACH WORKING DAY OF TESTING AND BALANCING. ALL TESTING AND BALANCING SHALL BE DONE UNDER BOTH SUMMER AND WINTER DESIGN CONDITIONS.
2. PERFORM TESTS AND BALANCE SYSTEMS IN ACCORDANCE WITH FOLLOWING REQUIREMENTS:
- a. BALANCE AND ADJUST ALL AIR HANDLING SYSTEMS FOR DESIGN FLOW OF SUPPLY, RETURN, EXHAUST, EXHAUST AND OUTSIDE AIR TO WITHIN 10% OF DESIGN REQUIREMENTS.
- b. AFTER OR DURING ONE COMPLETE HEATING-COOLING SEASON, MAKE ANY MINOR ADJUSTMENTS THAT MAY BE NECESSARY TO INSURE UNIFORM TEMPERATURES THROUGHOUT THE SPACE.
3. MECHANICAL CONTRACTOR SHALL SUBMIT A CERTIFIED COPY OF THE TEST AND BALANCE REPORT TO THE CITY PRIOR TO FINAL INSPECTION.
- M. INSULATION
1. ALL INSULATION SHALL BE INSTALLED OVER CLEAN DRY SURFACES. INSULATION MUST BE DRY AND IN GOOD CONDITION. WET OR DAMAGED INSULATION WILL NOT BE ACCEPTABLE. NO INSULATION SHALL BE APPLIED PRIOR TO PRESSURE TEST COMPLETION OF THE RESPECTIVE PIPING SYSTEMS.
2. FIBERGLASS PIPE INSULATION SHALL BE INSTALLED WITH JOINTS BUTTED FIRMLY TOGETHER. JACKET LAPS TO BE SEALED WITH FACTORY APPLIED ADHESIVE. BUTT JOINTS TO BE SEALED WITH BUTT STRIPES, HAVING FACTORY APPLIED ADHESIVE. VALVES AND FITTINGS SHALL BE INSULATED USING MITERED SECTIONS OF INSULATION, INSULATION CEMENT, OR PREMOLDED FITTING INSULATION. THE INSULATION APPLIED TO THE VALVES AND FITTINGS SHALL BE COVERED WITH THE SAME TYPE OF COVERING AS USED ON THE PIPE INSULATION.
3. PROVIDE THE FOLLOWING INSULATION PRODUCTS AS MANUFACTURED BY OWENS-CORNING. INSULATION PRODUCTS AS MANUFACTURED BY ARMSTRONG, CERTAINTeed OR KNAUF ARE ACCEPTABLE. ADHESIVE SHALL BE BENJAMIN FOSTER OR EQUAL.
4. OWENS CORNING FIBERGLASS 705. 2" THICK FOR CLIMATE ZONES 1-4 AND 3" THICK FOR CLIMATE ZONES 5-8. ASJ EQUIPMENT INSULATION (DENSITY 6 PCF) OR ARMSTRONG AP ARMAFLEX SHEET AND ROLL INSULATION (2")
- a. SERVICE:
- EXPOSED SUPPLY AIR DUCTWORK (IN NON AIR CONDITIONED SPACES)
 - EXPOSED OUTSIDE AIR INTAKE DUCTWORK
5. OWENS CORNING ED 150 FRK 25. 2" THICK FACED DUCTWRAP
- a. SERVICE:
- CONCEALED SUPPLY AIR DUCTWORK (EXCEPT IN RETURN AIR PLENUMS)
 - CONCEALED OUTSIDE AIR INTAKE DUCTWORK
6. DUCT LINING: OWENS-CORNING, 2" THICK "AEROFLEX DUCT LINER" TYPE 300. LINING SHALL BE INSTALLED WITH STICK-KLIPS AND ADHESIVE PER MANUFACTURER'S INSTRUCTIONS.
- N. DUCTWORK
1. PROVIDE ALL SHEET METAL WORK AS SHOWN ON THE DRAWINGS IN ACCORDANCE WITH THE LATEST EDITION OF THE ASHRAE GUIDE AND DATA BOOK, SMACNA STANDARDS AND THIS SPECIFICATION. THE MOST DEMANDING OF WHICH SHALL BE THE MINIMUM STANDARD.
2. LOW PRESSURE DUCTWORK
- a. ALL DUCTWORK SHALL BE CONSTRUCTED OF GALVANIZED STEEL EXCEPT WHERE NOTED ON PLANS TO BE ALUMINUM. EXPOSED DUCTWORK IN ARCHITECTURALLY FINISHED SPACES SHALL BE FABRICATED FROM "PAINT GRIP" GALVANIZED STEEL OR SIMILAR MILL SURFACE ETCH TREATMENT.
- b. CONSTRUCT ALL DUCTWORK FOLLOWING LATEST SMACNA "HVAC DUCT CONSTRUCTION STANDARDS".
- c. ALL DUCTS, EXCEPT KITCHEN EXHAUST, SHALL BE CONSTRUCTED TO 1" W.G.
- d. SEAL ALL DUCTS TO SEAL CLASS "C."
3. FLEXIBLE DUCTS
- a. OMNIAIR MODEL 1300 LOW PRESSURE NON INSULATED FOR EXHAUST DUCTS AND SUPPLY AIR DUCTS IN CONDITIONED SPACES UP TO 8" STATIC PRESSURE.
- b. INSTALL FLEXIBLE TUBING FULLY EXTENDED, FREE OF SAGS AND KINKS. MAXIMUM LENGTH OF TUBING SHALL BE 5' 0". FLEXIBLE TUBING SHALL BE CONNECTED TO SUPPLY AIR DUCTS WITH FLARED SPIN COLLAR FITTING.
4. PROTECTION OF DUCTWORK DURING TRANSPORTATION AND CONSTRUCTION SHALL FOLLOW THE ADVANCED LEVEL GUIDELINES UNDER THE LATEST EDITION OF THE SMACNA STANDARDS.
- a. TO MAINTAIN CLEANLINESS DURING TRANSPORTATION, ALL DUCTWORK SHALL BE SEALED EITHER BY BLANKING OR CAPPING DUCT ENDS, BAGGING SMALL FITTINGS, SURFACE WRAPPING OR SHRINK WRAPPING.
- b. THE WORKING AREA SHALL BE CLEAN, DRY AND THE DUCTWORK PROTECTED FROM DUST. PROTECTIVE COVERINGS SHALL ONLY BE REMOVED IMMEDIATELY BEFORE INSTALLATION AND INSPECTED TO DETERMINE IF ADDITIONAL WYE DOWN IS NECESSARY.
- O. WIRING
1. ALL WIRING INCIDENTAL TO THIS TEMPERATURE CONTROL SYSTEM SHALL BE PROVIDED BY THE MECHANICAL CONTRACTOR.
2. THE TERM "WIRING" SHALL BE CONSTRUED TO INCLUDE FURNISHING OF WIRE, CONDUIT, MISCELLANEOUS MATERIALS AND LABOR AS REQUIRED FOR MOUNTING AND CONNECTING ELECTRICAL CONTROL DEVICES, AND PROVIDING ELECTRICAL INTERLOCKS BETWEEN EQUIPMENT.
- P. EQUIPMENT
1. SEE SCHEDULE ON DRAWING.
2. ALL MECHANICAL EQUIPMENT SHALL BE LABELED WITH EQUIPMENT TAGS, SPACE NAME, AREA OF SERVICE, LABEL EQUIPMENT WITH 3" HIGH STENCILED PAINT.

END OF SPECIFICATIONS

HVAC GENERAL NOTES

- A. GENERAL NOTES APPLY TO HVAC SHEETS.
- B. WORK SHALL COMPLY WITH STATE AND LOCAL CODE REQUIREMENTS AS APPROVED AND AMENDED BY THE AUTHORITY HAVING JURISDICTION, INCLUDING APPLICABLE SECTIONS OF NFPA, THE MECHANICAL CODE, AND ANY INTERIM AMENDMENTS AT THE TIME OF THE PROPOSAL. PURCHASE PERMITS ASSOCIATED WITH THE WORK. OBTAIN INSPECTIONS REQUIRED BY CODE. SEE ARCHITECTURAL SHEETS FOR THE PREVAILING CODES.
- C. CONTRACTOR AND SUBCONTRACTORS SHALL REVIEW A COMPLETE SET OF THE CONSTRUCTION DOCUMENTS.
- D. COORDINATE WORK WITH THE WORK OF OTHER TRADES. EQUIPMENT FURNISHED BY OTHERS, REQUIREMENTS OF THE OWNER, AND OF THE EXISTING CONDITIONS AT THE PROJECT SITE.
- E. DRAWINGS FOR THE MECHANICAL WORK ARE DIAGRAMMATIC, SHOWING THE GENERAL LOCATION, TYPE, LAYOUT, AND EQUIPMENT REQUIRED. THE DRAWING SHALL NOT BE SCALED FOR EXACT MEASUREMENTS. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS. REFER TO MANUFACTURER'S STANDARD INSTALLATION DRAWINGS FOR EQUIPMENT CONNECTIONS AND INSTALLATION REQUIREMENTS. PROVIDE DUCTWORK, CONNECTIONS, OFFSETS, ACCESSORIES, AND MATERIALS NECESSARY FOR A COMPLETE SYSTEM.
- F. DUCT DIMENSIONS ON PLANS INDICATE DIMENSIONS OF INTERNAL FREE AREA.
- G. COORDINATE ROOF WORK WITH THE OWNER'S CONSTRUCTION MANAGER PRIOR TO CONSTRUCTION TO ENSURE THAT THE CORRECT ROOFING CONTRACTOR IS UTILIZED TO MAINTAIN ANY WARRANTIES ON THE ROOF.
- H. UNLESS NOTED OTHERWISE RECTANGULAR DUCT ELBOWS GREATER THAN 45° SHALL BE MITERED ELBOWS WITH DOUBLE-THICKNESS TURNING VANES AND RECTANGULAR DUCT ELBOWS 45° OR LESS SHALL BE RADIUS ELBOWS WITH AN INSIDE RADIUS OF AT LEAST 1/2 THE WIDTH OF THE DUCT.
- I. REPLACE AIR FILTERS WITH NEW, CLEAN MERV 8 AIR FILTERS AT TURNOVER.
- J. THE TERM "FURNISH" MEANS SUPPLY AND DELIVER TO THE PROJECT SITE, READY FOR UNLOADING, UNPACKING, ASSEMBLY, INSTALLATION, AND SIMILAR OPERATIONS. THE TERM "INSTALL" DESCRIBES THE OPERATIONS AT THE PROJECT SITE INCLUDING THE ACTUAL UNLOADING, UNPACKING, ASSEMBLY, ERECTION, PLACING, ANCHORING, APPLYING, WORKING TO DIMENSION, FINISHING, CURING, PROTECTING, CLEANING, AND SIMILAR OPERATIONS. THE TERM "PROVIDE" MEANS TO FURNISH AND INSTALL, COMPLETE AND READY FOR THE INTENDED USE.
- K. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADMINISTERING ALL WARRANTIES ON EQUIPMENT WHICH THEY FURNISH OR INSTALL.
- L. PROVIDE WRITTEN WARRANTY TO REPLACE ALL FAULTY MATERIALS AND/OR LABOR, AT NO COST TO TENANT, FOR A PERIOD OF ONE (1) YEAR FROM DATE OF ACCEPTANCE. PROVIDE FIVE (5) YEAR COMPRESSOR WARRANTY FOR AIR CONDITIONING UNITS. WARRANTIES SHALL BEGIN ON THE DATE OF SUBSTANTIAL COMPLETION.
- M. ITEMS PROJECTING THROUGH THE ROOF SHALL BE FLASHED THROUGH CURBS OR PIPE SEALS A MINIMUM 12" ABOVE THE ROOF. ENSURE THAT AMPLE BOOT OPENINGS ARE PROVIDED TO ACCOMMODATE ANY ELECTRICAL CONDUIT PENETRATIONS REQUIRED FOR POWER.
- N. COORDINATE THE INSTALLATION AND FINISH OF ALL AIR TERMINAL DEVICES, AIR TERMINAL DEVICES LOCATED IN GUEST AREAS SHALL BE PAINTED PER THE ARCHITECTURAL DRAWINGS FINISH SCHEDULE. ALL INTERIOR FACES OF DUCTWORK BEHIND RETURN AIR GRILLES SHALL BE PAINTED FLAT BLACK FOR LINE OF SIGHT.
- O. THERMOSTATS AND REMOTE SENSORS SHALL BE LOCATED AT 54" AFF UNO. EXACT LOCATIONS SHALL BE FIELD COORDINATED TO AVOID INTERFERENCE WITH WALL-MOUNTED WORK OR PROXIMITY TO HEAT PRODUCING EQUIPMENT.
- P. ALL RECTANGULAR, ROUND, AND FLEXIBLE DUCTWORK SHALL BE SIZED AS SHOWN ON THESE DRAWINGS AND SHALL BE FABRICATED AND INSTALLED ACCORDING TO THE MOST RECENTLY PUBLISHED SMACNA STANDARDS, INCLUDING GAUGES, SWAY BRACING, AND SUSPENSION. ALL JOINTS, SEAMS, AND CONNECTIONS MUST BE SECURELY FASTENED & SEALED USING METHODS IN COMPLIANCE WITH THESE STANDARDS. SUPPLY, RETURN, AND RESTROOM EXHAUST DUCT CONSTRUCTION SHALL BE GALVANIZED STEEL. FLEXIBLE ALUMINUM DUCTWORK OR FIBERGLASS DUCTBOARD ARE NOT ACCEPTABLE.
- Q. ANY FLEXIBLE DUCTS SHALL BE INSTALLED IN CONCEALED SPACES ONLY. THE MAXIMUM ALLOWABLE LENGTH OF FLEXIBLE DUCT SHALL BE 4'-0". ALL FLEXIBLE DUCTS SHALL BE CONNECTED TO BRANCH RUNS AND FITTINGS WITH PANDUIT-TYPE BAND, AND SHALL NOT BE ATTACHED DIRECTLY TO THE AIR DUCT COLLAR.
- R. ALL PENETRATIONS IN FIRE-RATED ASSEMBLIES SHALL BE SEALED WITH UL-LISTED FIRE STOPPING MATERIAL TO MAINTAIN THE INTEGRITY OF THE LISTED ASSEMBLY.
- S. CONTRACTOR AND SUBCONTRACTORS SHALL BE PRESENT ON SITE AT THE DATE OF STORE TURNOVER.

PLUMBING SPECIFICATIONS

- A. GENERAL CONDITIONS AND OTHER CONTRACT DOCUMENTS
1. THE GENERAL CONDITIONS AND OTHER CONTRACT DOCUMENTS AS SET FORTH HEREBY ARE TO BE INCORPORATED INTO AND BECOME A PART OF THE SPECIFICATIONS FOR THE WORK UNDER THIS DIVISION.
- B. CODES AND PERMITS
1. COMPLY WITH RULES, REGULATIONS OF STATE, COUNTY, AND CITY AUTHORITIES HAVING JURISDICTION OVER THE PREMISES, INCLUDING SAFETY REQUIREMENTS OF OSHA. DO NOT CONSTITUTE THIS AS RELIEVING CONTRACTOR FROM COMPLYING WITH SPECIFICATIONS WHICH EXCEED CODE REQUIREMENTS AND NOT IN CONFLICT THEREWITH.
2. SECURE AND PAY FOR ALL PERMITS AND CERTIFICATES OF INSPECTION REQUIRED. MAKE PAYMENTS TO ALL PUBLIC UTILITIES FOR WORK PERFORMED BY THEM IN PROVIDING SERVICE CONNECTIONS.
- C. LOCAL CONDITIONS
1. VISIT SITE, BECOME FAMILIAR WITH CONDITIONS AFFECTING THIS WORK. NO ADDITIONAL PAYMENT WILL BE MADE ON CLAIMS THAT ARISE FROM LACK OF KNOWLEDGE OF EXISTING CONDITIONS.
2. THIS CONTRACTOR SHALL BE HELD TO HAVE EXAMINED THE PREMISES AND SITE SO AS TO COMPARE THEM WITH THE DRAWINGS AND SPECIFICATIONS. NO ALLOWANCE SHALL BE MADE TO THE CONTRACTOR BY REASON OF HIS FAILURE TO HAVE MADE SUCH EXAMINATION OR OF ANY ERROR ON HIS PART.
- D. DRAWINGS
1. DRAWINGS AND SPECIFICATIONS ARE TO BE CONSIDERED AS SUPPLEMENTING EACH OTHER. WORK SPECIFIED SHALL BE PERFORMED OR FURNISHED AS THOUGH MENTIONED IN BOTH SPECIFICATIONS AND DRAWINGS.
2. THE DRAWINGS ARE SCHEMATIC ONLY AND ARE INTENDED TO SHOW THE APPROXIMATE LOCATIONS. DO NOT SCALE.
- E. SHOP DRAWINGS
1. THIS CONTRACTOR SHALL SUBMIT SHOP DRAWINGS ON THE ITEMS OF EQUIPMENT AND SYSTEMS AS NECESSARY TO CLEARLY SHOW EQUIPMENT AND CONSTRUCTION.
- F. SUPERVISION
1. THIS CONTRACTOR SHALL HAVE IN CHARGE OF THE WORK, A COMPETENT SUPERINTENDENT WITH EXPERIENCE IN THE WORK TO BE INSTALLED UNDER THIS CONTRACT.
- G. COORDINATION
1. THIS CONTRACTOR SHALL COORDINATE HIS WORK AND COOPERATE WITH THE OTHER CONTRACTORS. HE SHALL ARRANGE HIS WORK WITH THEIRS SO THAT THERE WILL BE NO DELAY IN THE PROPER INSTALLATION.
2. EXAMINE WORK OF OTHER TRADES WHICH COMES IN CONTACT WITH OR IS COVERED BY THIS WORK. DO NOT ATTACH TO, COVER, OR FINISH AGAINST ANY DEFECTIVE WORK, OR INSTALL WORK OF THIS DIVISION IN A MANNER WHICH WILL PREVENT OTHER TRADES FROM PROPERLY INSTALLING THEIR WORK. CONSULT ALL DRAWINGS, SPECIFICATIONS AND DETAILS OF OTHER DIVISIONS OF THE WORK.
- H. CUTTING AND PATCHING
1. ALL CUTTING AND PATCHING WORK RELATED TO THIS CONTRACT WILL BE THE RESPONSIBILITY OF THIS CONTRACTOR.
- I. GUARANTEE AND WARRANTIES
1. WARRANT THAT EQUIPMENT AND ALL WORK IS INSTALLED IN ACCORDANCE WITH GOOD ENGINEERING PRACTICE AND THAT ALL EQUIPMENT WILL MEET REQUIREMENTS SPECIFIED, ANY EQUIPMENT FAILING TO PERFORM OR FUNCTION AS SPECIFIED SHALL BE REPLACED WITH COMPLYING EQUIPMENT, WITHOUT COST TO THE OWNER.
2. GUARANTEE AGAINST DEFECTS IN WORKMANSHIP AND MATERIALS, MAKE GOOD REPAIR OR REPLACE ANY DEFECTIVE WORK, MATERIAL OR EQUIPMENT WITHIN ONE YEAR FROM DATE OF ACCEPTANCE.
- J. INSTALLATION REQUIREMENTS
1. LOCATION OF PIPING, EQUIPMENT, ETC., ON THE DRAWINGS IS DIAGRAMMATIC; INDICATED POSITIONS SHALL BE FOLLOWED AS CLOSELY AS POSSIBLE. EXACT LOCATIONS SHALL BE SUBJECT TO BUILDING CONSTRUCTION AND INTERFERENCES WITH OTHER WORK. ARCHITECT RESERVES RIGHT TO MAKE MINOR CHANGES IN LOCATION OF ANY PART OF THE WORK UP TO THE TIME OF ROUGHING-IN WITHOUT ADDITIONAL COST.
- K. TEST AND ADJUSTMENTS
1. OBTAIN ALL INSPECTIONS REQUIRED BY LAW, ORDINANCES, RULES, REGULATIONS OF AUTHORITIES HAVING JURISDICTION, FURNISH CERTIFICATES OF SUCH INSPECTIONS, PAY ALL FEES AND PROVIDE ALL EQUIPMENT, POWER AND LABOR NECESSARY FOR INSPECTIONS AND TEST.
2. PRESSURE TESTS
- a. ALL PIPING SHALL BE GIVEN THE FOLLOWING PRESSURE TEST WITHOUT APPRECIABLE PRESSURE DROP. EQUIPMENT WHICH WOULD BE DAMAGED BY THE REQUIRED TEST PRESSURE SHALL BE ISOLATED FROM THE SYSTEM DURING TESTING.
- | | SERVICE | MEDIUM (PSIG) | HRS. |
|------------------|---------|---------------|------|
| • DOMESTIC WATER | WATER | 125 | 6 |
| • GAS PIPING | AIR | 50 | 24 |
- b. SANITARY SEWERS PER STATE PLUMBING CODE AND LOCAL AUTHORITY.
- L. MATERIALS
- a. PIPE AND FITTINGS:
1. SANITARY WASTE AND VENT:
- a. BELOW GROUND FROM FIVE (5) FEET OUTSIDE OF AND UNDER BUILDING: SOLVENT WELDED PVC PIPE AND FITTINGS.
- b. ABOVE GROUND: SOLVENT WELDED PVC PIPE AND FITTINGS (IF APPROVED BY OWNER AND THE BUILDING DEPARTMENT).
- c. ABOVE GROUND, IF ALLOWED BY THE AHJ: TYLER OR ABBI OR CHARLOTTE PIPE AND FOUNDRY, ASTM A-74, ASTM A-888 CAST IRON, BITUMINOUS COATED, "NO-HUB". PIPE SHOWING RUST OR CRACKS IN COATING SHALL BE REMOVED AND REPLACED.
- d. FITTINGS: NO-HUB, ASTM A-888: COUPLINGS BELOW GRADE: HEAVY DUTY TYPE 304 STAINLESS STEEL COUPLINGS CONFORMING TO FM 1680 WITH NEOPRENE SEALING SLEEVE CONFORMING TO ASTM C-1540 HAVING MINIMUM SHIELD THICKNESS OF 28 GAUGE. HUSKY SD-4000 OR CLAMP ALL 125 ONLY.
- e. COUPLINGS ABOVE GRADE: TYPE 304 STAINLESS STEEL COUPLINGS CONFORMING TO ASTM C-1540 AND NEOPRENE SEALING SLEEVE, HAVING MINIMUM SHIELD THICKNESS OF 34 GAUGE. ANACO OR IDEAL.
- f. COUPLINGS ABOVE GRADE: BAIRD TYPE 304 STAINLESS STEEL COUPLINGS CONFORMING TO ASTM C-1540 HAVING A MINIMUM SHIELD THICKNESS OF 31 GAUGE WITH NEOPRENE SEALING SLEEVE. HUSKY 2000 OR CLAMP ALL 80 ONLY.
2. COLD WATER AND DOMESTIC HOT WATER ABOVE GROUND:
- a. TYPE L HARD DRAWN COPPER TUBING AND WROUGHT COPPER FITTINGS FOR SOLDER JOINTS USING LEAD FREE SOLDER.
- b. COLD WATER BELOW GROUND:
- a. TYPE K HARD DRAWN COPPER TUBING AND WROUGHT COPPER FITTINGS FOR SOLDER JOINTS, COAT AND WRAP.
4. STORM DRAINAGE ABOVE AND BELOW GROUND (SEE SANITARY WASTE AND VENT):
- a. DRAIN LINES LARGER THAN 4" UNDER SIDEWALK SHALL BE RECTANGULAR CAST-IRON.
5. CONDENSATE DRAINAGE: TYPE M HARD DRAWN COPPER TUBING AND WROUGHT COPPER FITTINGS.
6. NATURAL GAS PIPING:
- a. SCHEDULE 40, BLACK STEEL PIPE WITH 150 PSIG BLACK MALLEABLE IRON SCREWED FITTINGS AND PLAIN PATTERN COUPLINGS. COAT AND WRAP UNDERGROUND PIPING.
- b. NOTE: PIPE EXPOSED ON ROOF SHALL BE SCHEDULE 40 GALVANIZED PIPE.
7. RO WATER: PEX TUBING OR EQUAL. CONFIRM WITH OWNER'S RO VENDOR.
8. FILTERED/CARBONATED WATER: PEX TUBING OR EQUAL. CONFIRM WITH OWNER'S FILTER AND CARBONATED WATER VENDOR.
- b. PIPE SLEEVES:
1. CONCRETE WALLS OR FLOORS: "ADJUST-TO-CRETE" OR PARAMOUNT.
2. UNDER WALKS, BUILDINGS OR OTHER STRUCTURES: TERRA COTTA OR FIBRE.
- c. PIPE HANGERS: SUPER STRUT OR GRINNELL ADJUSTABLE SWIVEL SPLIT RING TYPE, COMPLETE WITH THREADED STEEL ROD FOR WOOD CONSTRUCTION APPROVED BRACKETS, CLAMPS, OR CLIPS.
- d. ACCESS BOXES AND PANELS:
1. ACCESS BOXES IN OUTSIDE AREAS FOR GENERAL SERVICE: OPEN BOTTOM CONCRETE BOXES WITH CAST IRON FRAMES AND COVERS.
- a. WATER SERVICE: BROOKS PRODUCTS MODEL 1-RT WITH THE WORD "WATER" RESPECTIVELY CAST IN THE COVER.
- b. SEWER: BROOKS PRODUCTS MODEL 3-RT WITH THE WORD "SEWER" CAST IN THE COVER.
- c. OTHER SERVICES: BROOKS PRODUCTS MODEL 3-RT.
2. ACCESS PANELS IN WALLS AND CEILINGS, EXCEPT AS HEREINAFTER SPECIFIED: SMITH "ADOE" OFFSET RIM PRIME COAT METAL ACCESS DOOR AND FRAME OF SUITABLE SIZE. PANEL DOOR SHALL BE EQUIPPED WITH AN ALLEN WRENCH OPERATED LOCKING DEVICE.
- e. SANITARY VENT FLASHINGS:
1. FLASHINGS: REFER TO ROOFING SPECIFICATIONS.
- f. SOUND AND ELECTROLYSIS ISOLATION: SEMCO "TRISOLATORS" OF SIZE AS REQUIRED, PROVIDE AT HANGERS.
- g. DIELECTRIC UNIONS: EPOC NUT TYPE OR FLANGE TYPE UNION WITH INSULATORS AND GASKET TO SUIT SERVICE REQUIREMENTS. PROVIDE WHERE DISSIMILAR METALS ARE CONNECTED.
- h. SHOCK ARRESTORS: PRECISION PLUMBING PRODUCTS, SIZED IN ACCORDANCE WITH P.D.I. STANDARDS.
- i. CLEANOUTS:
1. WHERE INDICATED ON DRAWINGS, AT ALL BENDS, UPPER TERMINALS AND NOT OVER 100' APART IN ANY RUN, MAKE ALL CLEANOUTS ACCESSIBLE BY EXTENDING TO FLOOR OR GRADE. SEE THE PLUMBING EQUIPMENT SCHEDULE FOR CLEANOUT SPECIFICATIONS.
- M. VALVES
1. VALVES IN WATER PIPING: BALL VALVES WITH SCREWED ENDS, MIN. 150 LBS., SWP. VALVES USED FOR SHUT-OFF AND BALANCING SHALL BE EQUIPPED WITH MEMORY STOP.
- N. INSULATION
1. ALL INSULATION SHALL BE INSTALLED OVER CLEAN DRY SURFACES. INSULATION MUST BE DRY AND IN GOOD CONDITION. WET OR DAMAGED INSULATION WILL NOT BE ACCEPTABLE. NO INSULATION SHALL BE APPLIED PRIOR TO PRESSURE TEST COMPLETION OF THE RESPECTIVE PIPING SYSTEMS.
2. FIBERGLASS PIPE INSULATION SHALL BE INSTALLED WITH JOINTS BUTTED FIRMLY TOGETHER. JACKET LAPS TO BE SEALED WITH FACTORY APPLIED ADHESIVE. BUTT JOINTS TO BE SEALED WITH BUTT STRIPES, HAVING FACTORY APPLIED ADHESIVE. VALVES AND FITTINGS SHALL BE INSULATED USING MITERED SECTIONS OF INSULATION, INSULATION CEMENT, OR PREMOLDED FITTING INSULATION. THE INSULATION APPLIED TO THE VALVES AND FITTINGS SHALL BE COVERED WITH THE SAME TYPE OF COVERING AS USED ON THE PIPE INSULATION.
3. PROVIDE THE FOLLOWING INSULATION PRODUCTS AS MANUFACTURED BY OWENS-CORNING. INSULATION PRODUCTS AS MANUFACTURED BY ARMSTRONG, CERTAINTeed OR KNAUF ARE ACCEPTABLE. ADHESIVE SHALL BE BENJAMIN FOSTER OR EQUAL.
4. MATERIAL
- a. DOMESTIC HOT WATER (LESS THAN 1-1/2"): 1" THICK ASJ/SSL FIBERGLASS
- b. DOMESTIC HOT WATER (1-1/2" AND GREATER): 1-1/2" THICK ASJ/SSL FIBERGLASS
- c. DOMESTIC COLD WATER (LESS THAN 1-1/2"): 1/2" THICK ASJ/SSL FIBERGLASS
- d. DOMESTIC COLD WATER (1-1/2" AND GREATER): 1" THICK ASJ/SSL FIBERGLASS
- O. WASTE SYSTEMS
1. RUN ALL DRAINAGE PIPING AS DIRECT AS POSSIBLE. ACTUAL LOCATION OF DRAINS AND WASTE PIPING SHALL MEET THE VARIOUS BUILDING CONDITIONS. DO ANY WORK NECESSARY TO CONCEAL PIPING OR CLEAR PIPING OF OTHER TRADES.
- P. WATER SUPPLY SYSTEMS
1. EXTEND WATER SERVICE FROM VALVED WATER CONNECTION PROVIDED WITH HOT AND COLD WATER BEING SUPPLIED AND CONNECTED TO ALL FIXTURES AND EQUIPMENT.
- Q. GAS PIPING SYSTEMS
1. EXTEND NEW GAS PIPING FROM THE METER LOCATED AT THE EXTERIOR WALL, CONNECT TO ALL ROOFTOP HVAC UNITS, KITCHEN EQUIPMENT & WATER HEATERS. INSTALL DRIP LEG AND SHUTOFF VALVE AT CONNECTION.

END OF SPECIFICATIONS

PLUMBING GENERAL NOTES

- A. GENERAL NOTES APPLY TO PLUMBING SHEETS.
- B. PLUMBING WORK SHALL BE DONE IN ACCORDANCE WITH THE PLUMBING CODE, LOCAL HEALTH DEPARTMENT STANDARDS, AND THE AUTHORITY HAVING JURISDICTION. SEE ARCHITECTURAL SHEETS FOR THE PREVAILING CODES.
- C. PIPING LAYOUTS ON DRAWINGS ARE SCHEMATIC. EXACT LOCATIONS ARE TO BE COORDINATED WITH THE EXISTING CONDITIONS, ADA REQUIREMENTS, AND THE WORK OF OTHER TRADES.
- D. CONCEAL PIPING UNLESS NOTED OTHERWISE. WATER SUPPLY PIPES SHALL BE INSTALLED LEVEL.
- E. PROVIDE SHUT-OFF VALVES FOR ISOLATION OF FIXTURE GROUPS AS SHOWN ON DRAWINGS IN ADDITION TO STOP VALVES AT EACH FIXTURE.
- F. PROVIDE STOP VALVES AT FIXTURES.
- G. ALL WALL PIPING STUB-OUTS SHALL BE SECURELY TIED TO THE STRUCTURE WITH SUFFICIENT BACKING TO ELIMINATE MOVEMENT. FINAL CONNECTIONS TO KITCHEN SINKS SHALL BE HARD PIPED.
- H. WHERE THE WATER OR GAS SUPPLY LINE SIZE SHOWN IN THE PLUMBING DIAGRAMS DIFFERS FROM THE FIXTURE OR EQUIPMENT CONNECTION SIZE, PROVIDE LINE SIZE PIPE TO WITHIN 6" OF THE FIXTURE OR EQUIPMENT BEFORE TRANSITIONING TO THE CONNECTION SIZE.
- I. PIPING IN EXTERIOR WALLS SHALL BE INSTALLED BETWEEN THE INSULATION AND THE INTERIOR WALL. FINISHING MATERIAL. EXPOSED PIPING IN PUBLIC AREAS SHALL BE INSTALLED AS TIGHT AS POSSIBLE TO THE WARM SIDE OF THE EXPOSED ROOF STRUCTURE.
- J. ALL OPENINGS IN DWV SYSTEMS RESULTING FROM INSTALLATION ROUGH-IN SHALL BE PROTECTED WITH FINISHING MATERIAL. EXPOSED PIPING IN PUBLIC AREAS SHALL BE INSTALLED AS TIGHT AS POSSIBLE TO THE WARM SIDE OF THE EXPOSED ROOF STRUCTURE.
- K. PROVIDE GAS SHUT-OFF VALVES AT EACH PIECE OF EQUIPMENT. PROVIDE ACCESSIBLE DIRT LEG AT THE BOTTOM OF VERTICAL SECTIONS OF GAS PIPE AND AT THE CONNECTION TO EACH PIECE OF EQUIPMENT.
- L. PLUMBING FIXTURES, ACCESSORIES, AND MATERIALS PROVIDED FOR DOMESTIC WATER SHALL BE LEAD FREE.
- M. ALL PENETRATIONS IN FIRE RATED WALL ASSEMBLIES SHALL BE SEALED WITH UL-LISTED FIRE STOPPING MATERIAL TO MAINTAIN THE INTEGRITY OF THE RATED ASSEMBLIES.
- N. THE TERM "FURNISH" MEANS SUPPLY AND DELIVER TO THE PROJECT SITE, READY FOR UNLOADING, UNPACKING, ASSEMBLY, INSTALLATION, AND SIMILAR OPERATIONS. THE TERM "INSTALL" DESCRIBES THE OPERATIONS AT THE PROJECT SITE INCLUDING THE ACTUAL UNLOADING, UNPACKING, ASSEMBLY, ERECTING, PLACING, ANCHORING, APPLYING, WORKING TO DIMENSION, FINISHING, CURING, PROTECTING, CLEANING, AND SIMILAR OPERATIONS. THE TERM "PROVIDE" MEANS TO FURNISH AND INSTALL, COMPLETE AND READY FOR THE INTENDED USE.
- O. PRIOR TO CONNECTION TO ANY EXISTING SEWER SYSTEM PERFORM A DYE TEST TO VERIFY THE TYPE OF SYSTEM AND THE DIRECTION OF FLOW. REPORT ANY DEVIATION FROM THE CONSTRUCTION DOCUMENTS TO THE TENANT'S CONSTRUCTION MANAGER.
- P. PROVIDE SANITARY AND GREASE WASTE PIPES AT A MINIMUM SLOPE OF 1/4" PER FOOT UNLESS NOTED OTHERWISE.
- Q. PERFORM A PRESSURE READING ON THE DOMESTIC WATER SERVICE AT POSSESSION. IF THE STATIC WATER PRESSURE IS OVER 80 PSI THEN COORDINATE WITH THE CONSTRUCTION MANAGER TO PROVIDE A PRESSURE REGULATOR (WATTS LFUSB-Z3 OR EQUAL).
- R. FLUSH AND SANITIZE ALL DOMESTIC WATER LINES PRIOR TO THE INSTALLATION OF THE FILTRATION SYSTEMS.
- S. GUARANTEE ALL MATERIALS AND LABOR (INCLUDING THE COMPLETE PLUMBING SYSTEM) FOR A PERIOD OF ONE YEAR FROM WRITTEN ACCEPTANCE BY THE TENANT. PROVIDE WRITTEN WARRANTY TO REPLACE ALL FAULTY MATERIALS AND/OR LABOR, IN A TIMELY FASHION AND AT NO COST TO TENANT, FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE. WARRANTIES SHALL BEGIN ON THE DATE OF SUBSTANTIAL COMPLETION.
- T. ANY DEVIATIONS FROM THE DRAWINGS OR SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND ENGINEER PRIOR TO INSTALLATION.
- U. CONTRACTOR SHALL VISIT SITE PRIOR TO SUBMITTAL OF BID AND FAMILIARIZE HIMSELF WITH EXISTING CONDITIONS. SUBMITTAL OF BID WILL VERIFY THAT THE CONTRACTOR HAS VISITED THE SITE.
- V. PIPING SHALL BE INSTALLED PARALLEL TO BUILDING LINES AND SUPPORTED AND ANCHORED AS REQUIRED TO FACILITATE EXPANSION AND CONTRACTION. THE INSTALLATION SHALL MEET ALL CONSTRUCTION CONDITIONS AND ALLOW FOR THE INSTALLATION OF OTHER TRADES.
- W. PROVIDE ACCESS PANELS FOR VALVES, TRAP PRIMERS, WATER HAMMER ARRESTORS, OR OTHER EQUIPMENT INSTALLED IN WALLS OR ABOVE NON-ACCESSIBLE CEILINGS.
- X. PROVIDE CLEANOUTS AS SHOWN AND AS REQUIRED BY CODE IN READILY-ACCESSIBLE LOCATIONS. COORDINATE LOCATIONS WITH WORK YET TO BE DONE AND WORK OF OTHER TRADES TO ENSURE THAT CLEANOUTS REMAIN ACCESSIBLE.
- Y. ITEMS PROJECTING THROUGH THE ROOF SHALL BE FLASHED THROUGH CURBS OR PIPE SEALS A MINIMUM OF 12" ABOVE THE ROOF. ENSURE THAT AMPLE BOOT OPENINGS ARE PROVIDED TO ACCOMMODATE ANY ELECTRICAL CONDUIT PENETRATIONS REQUIRED FOR POWER.
- Z. PROVIDE VALVES, UNIONS, AND OTHER PIPE ACCESSORIES TO BE THE SAME SIZE AS THE CONNECTED SUPPLY LINE UNLESS NOTED OTHERWISE.
- ZA. PROVIDE UNIONS AFTER EACH THREADED VALVE AND PRIOR TO EQUIPMENT CONNECTIONS.
- ZB. ALL HORIZONTAL PIPING LINES EXTENDED AND CONNECTED TO EQUIPMENT SHALL BE RUN AT THE HIGHEST POSSIBLE ELEVATIONS AND NOT LESS THAN 6" AFF TO PROVIDE CLEARANCE FOR CLEANING.
- ZC. ALL CUTTING OF EXISTING PAVING, WALKS, AND/OR FLOORS SHALL UTILIZE MACHINE SAW CUTTING EQUIPMENT. HOLES FOR PIPES IN CONCRETE WALLS OR FLOORS SHALL UTILIZE CORE DRILLING EQUIPMENT. COORDINATE WITH ARCHITECTURAL DETAILS FOR FLOOR CUTTING AND PATCHING.
- ZD. PROVIDE ALL ADDITIONAL STEEL, HANGER MATERIALS, RODS, AND CLAMPS REQUIRED FOR COORDINATION WITH WORK OF OTHER TRADES.
- ZE. WHENEVER FOUNDATION WALLS, EXTERIOR WALLS, ROOFS, ETC. ARE PENETRATED FOR THE INSTALLATION OF PLUMBING SYSTEMS, PATCH ASSEMBLIES TO MATCH EXISTING CONSTRUCTION AND SEAL WEATHER TIGHT.
- ZG. CONTRACTOR AND SUBCONTRACTORS SHALL BE PRESENT ON SITE AT THE DATE OF STORE TURNOVER.
- ZH. ANY PENETRATION THROUGH THE WALL, FLOOR, OR CEILING AT ALL PLUMBING WATER, WASTE, OR GAS PIPES MUST BE SEALED AROUND THE PIPE FIRST, AND THEN THE ESCUTCHEON SEALED TO THE WALL.
- ZI. PROVIDE LABEL TAGS AT ALL VALVES AND PROVIDE A LEGEND TO TENANT AT SUBSTANTIAL COMPLETION.
- ZJ. PROTECT UNDERGROUND METALLIC PIPE AND FITTINGS IN ACCORDANCE WITH THE SOILS ENGINEER'S RECOMMENDATIONS. NO PIPING SHALL BE DIRECTLY EMBEDDED IN CONCRETE, MASONRY WALLS, OR CONCRETE FOOTINGS.

CONSULTANT:

Geoffrey J. Bacchi
P.E.

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STE. 100 JOB NO.: 33806
DALLAS, TX 75202 DESIGNED BY: JTH



SEAL:



THE LITTLE GYM IRVINE

3992D BARRANCA PARKWAY
IRVINE, CA 92606

SHEET TITLE:
MECHANICAL AND
PLUMBING
SPECIFICATIONS

05/09/2025

REVISIONS:

No.	Description	Date

JOB No.: 33806

DRAWN BY: JTH

MP001

EXHAUST FAN SCHEDULE

TAG	DESCRIPTION	AIRFLOW	ESP	WEIGHT	ELECTRIC AL V/PH	FURNISHED BY	INSTALLED BY	BASIS FOR DESIGN		REMARKS
EF-1	CEILING RESTROOM EXHAUST FAN	70 CFM	0.3 in-wg	4 lbf	120/1/60	GC	GC	BROAN	L100	CEILING MOUNTED EXHAUST FAN. PROVIDE BACK DRAFT DAMPER, CONTROLLED BY LIGHT SWITCH, AND TRIM KIT.

VENTILATION SCHEDULE BASED ON 2022 CMC TABLE 402.1

ROOM	OCCUPANCY CLASSIFICATION	AREA (SQ. FT.)	OCCUPANCY	O.A./PERSON (CFM)	O.A./SQ. FT (CFM)	REQUIRED AIRFLOWS MIN. O.A. NO DCV (CFM)	DCV MIN OA (CFM)	DCV MAX OA (CFM)	EXHAUST (CFM)	REMARKS
LOBBY	LOBBIES	314	20	5	.06	119	24	119		PROVIDED BY RTU-2
RESTROOMS	BATHROOMS/TOILET - PUBLIC	227	3	N/A	N/A	N/A			210	INTERMITTENT EXHAUST
MPR	MULTIPURPOSE ASSEMBLY	302	21	7.5	.06	176	19	176		PROVIDED BY RTU-2
GYM	GYM, SPORTS ARENA (PLAY AREA)	1762	36	20	.18	1038	0	0		PROVIDED BY RTU-1 AND RTU-3

CONTRACTOR TO ADJUST DUCTWORK AS REQUIRED TO ACCOMMODATE NEW CEILING HEIGHTS. REFERENCE ARCHITECTURAL RCP.

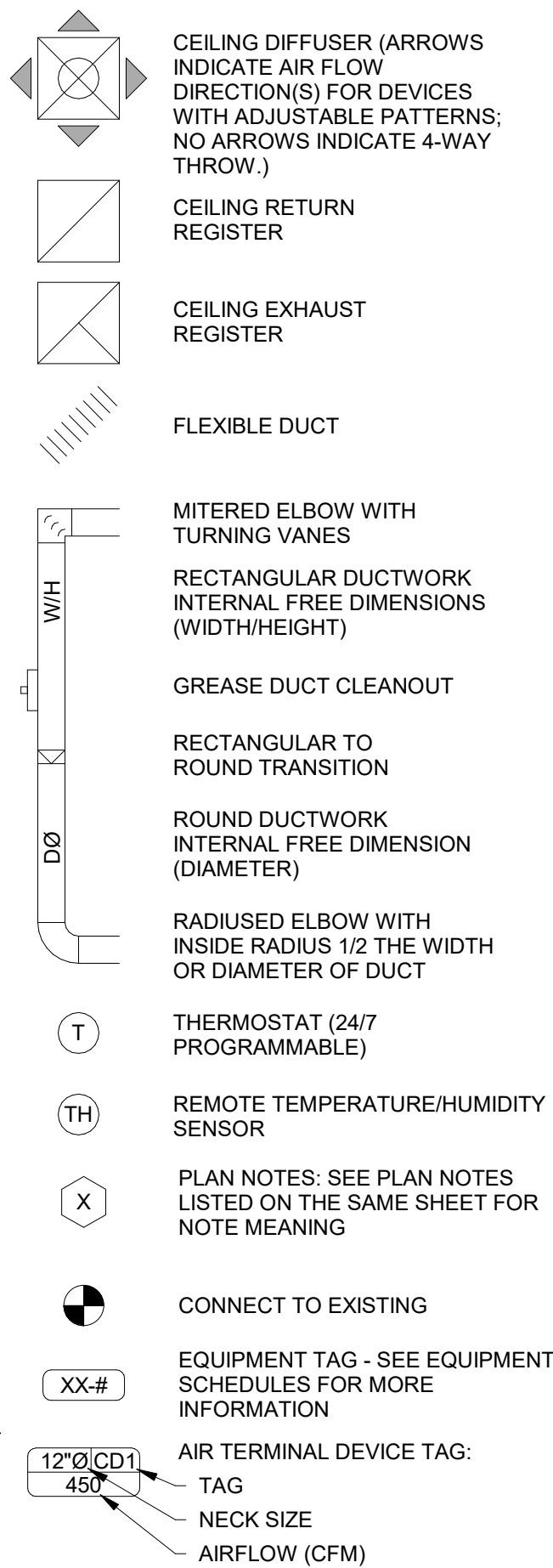
GENERAL NOTES

- SEE ARCHITECTURAL CEILING PLAN FOR CEILING-MOUNTED EQUIPMENT LOCATION.
- CONTRACTOR TO CLEAN, REPAIR, OR REPLACE EXISTING DIFFUSERS WHERE NECESSARY.
- CONTRACTOR TO CONFIRM AND INSTALL PER LANDLORD TENANT GUIDELINES.

HVAC PLAN NOTES

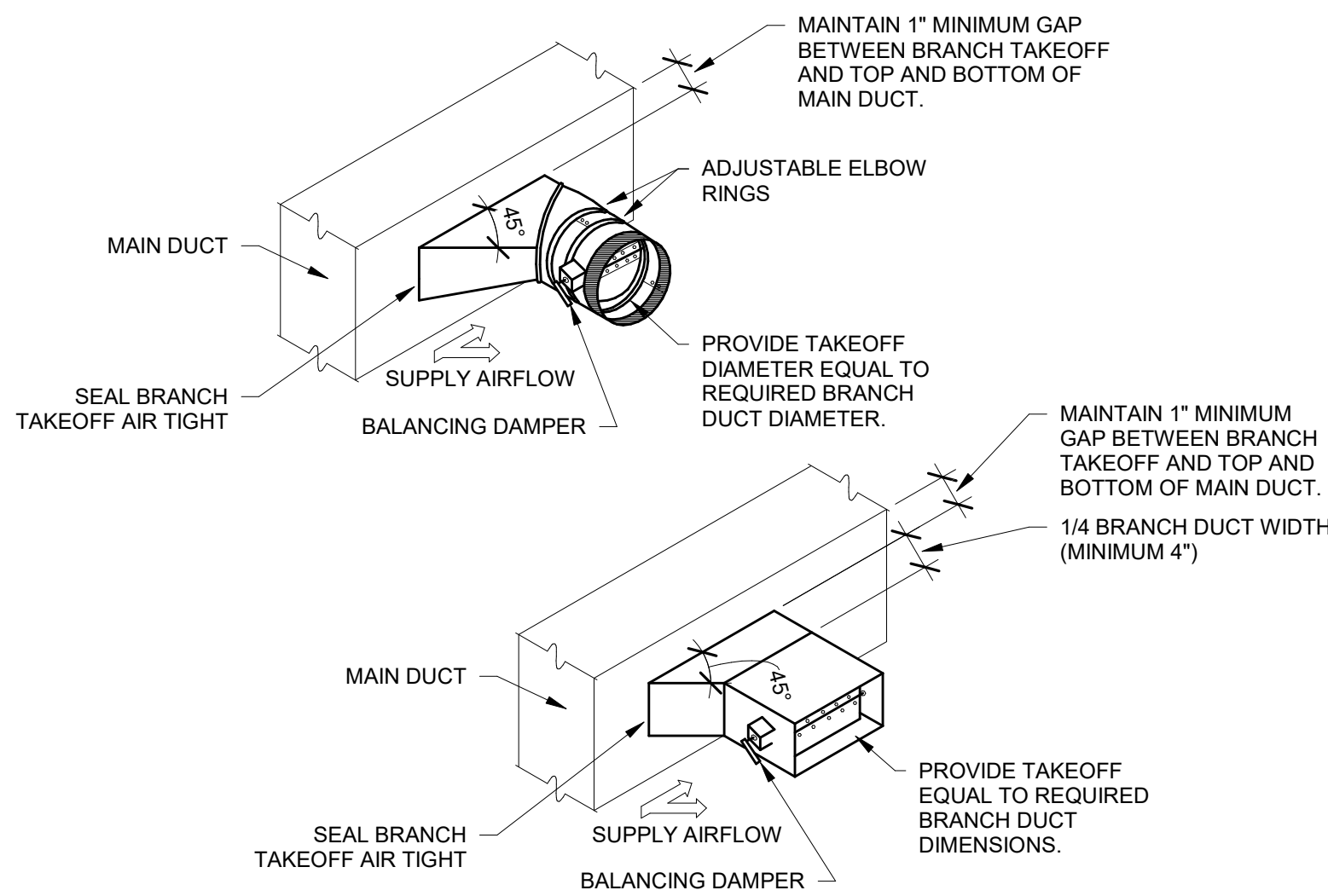
- RELOCATE EXISTING GRILLE/REGISTER/DIFFUSER AS SHOWN. EXTEND DUCTWORK AS REQUIRED. ADJUST DUCTWORK AS REQUIRED TO ACCOMMODATE NEW CEILING HEIGHTS. REF. ARCHITECTURAL CEILING PLAN.
- RELOCATE EXISTING MINI-SPLIT CASSETTE AS SHOWN. EXTEND REFRIGERANT LINES TO NEW LOCATION SHOWN. DISCONNECT, RECONNECT AND START-UP PER MANUFACTURER'S INSTRUCTIONS.
- RELOCATE EXISTING RESTROOM EXHAUST FAN AS SHOWN.. CONTRACTOR TO VERIFY FUNCTIONALITY OF FAN AND REPLACE AS NECESSARY. E.G. TO WIRE FAN CONTROLS TO LIGHT SWITCH.
- RELOCATE EXISTING MINI-SPLIT THERMOSTAT AS SHOWN. WIRE BOTH CEILING CASSETTES IN TANDEM TO SINGLE THERMOSTAT.
- DEMOLISH EXISTING MINI-SPLIT THERMOSTAT.
- RELOCATE EXISTING THERMOSTATS AS SHOWN @ 60" AFF. PROVIDE LOCKING COVERS.
- DEMO EXISTING GRILLE/REGISTER/DIFFUSER AND ANY ASSOCIATED FLEXIBLE DUCTWORK. CAP REMAINING BRANCH.
- CONNECT RESTROOM EXHAUST DUCTWORK TO EXISTING DUCTWORK THROUGH ROOF. CONTRACTOR TO CONFIRM EXISTING DUCTWORK A MIN. 8"Ø OR 8"Ø" SQUARE. CONFIRM EXHAUST POINT A MIN. 10 FT FROM ANY OUTSIDE AIR INTAKE.
- CONTRACTOR TO CONNECT SUPPLY AND RETURN AIR DIFFUSERS IN LOBBY AND MPR ROOMS TO MAIN DUCT FEED FROM RTU-2.
- CONTRACTOR TO PROVIDE FIELD ACCESSORY CO2 SENSOR FOR DEMAND CONTROL VENTILATION. INSTALL SENSOR BETWEEN 36" AND 72" AFF. SET CO2 SENSOR TO MAINTAIN CONCENTRATION AT OR BELOW 600PPM ABOVE AMBIENT.
- CONTRACTOR TO INSTALL A DEMAND CONTROL VENTILATION SYSTEM FOR RTU-2 COMPLIANT WITH CEC 120.1. SET MIN. AND MAX. OUTDOOR AIRFLOW RATES PER THE VENTILATION SCHEDULE.
- EXISTING 4-TON RTU. CONTRACTOR TO BALANCE SUPPLY CFM TO 1,400 CFM.
- EXISTING 7.5-TON RTU. CONTRACTOR TO BALANCE SUPPLY CFM TO 2,625 CFM. BALANCE OUTSIDE AIR TO 620 CFM.
- BALANCE EXISTING EXHAUST FAN TO 70 CFM OF INTERMITTENT EXHAUST.
- EXISTING 5-TON RTU. CONTRACTOR TO BALANCE SUPPLY CFM TO 1,750 CFM. BALANCE OUTSIDE AIR TO 420 CFM.

HVAC SYMBOLS

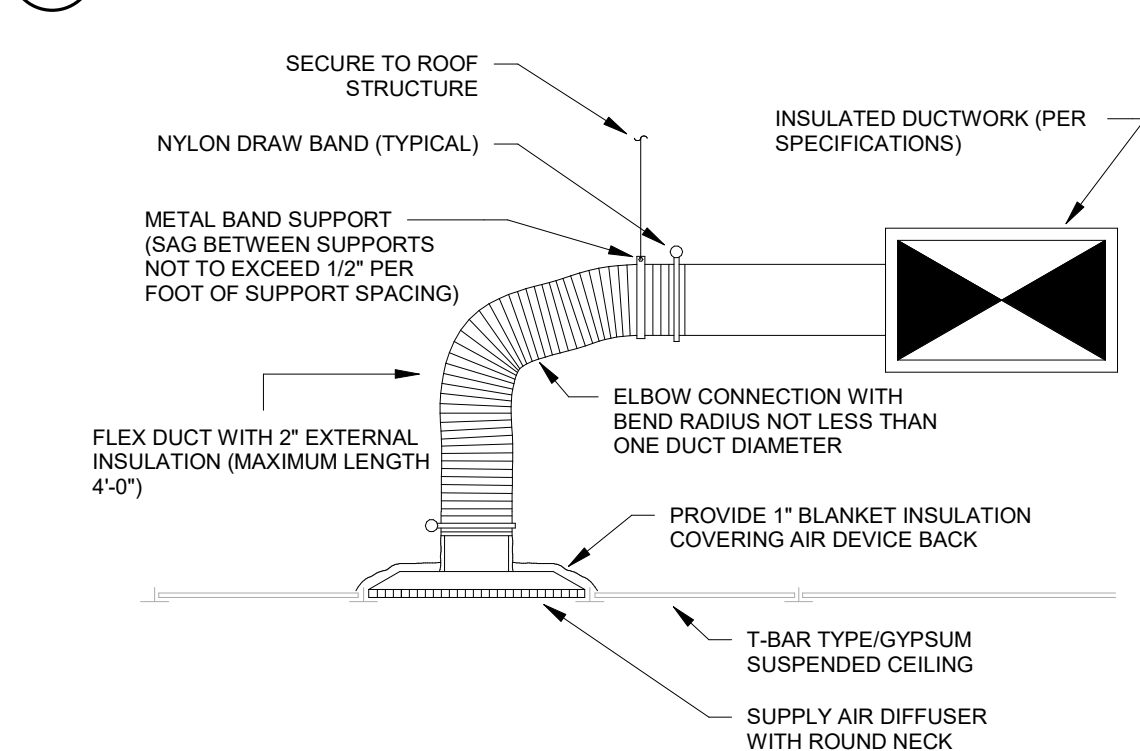


ABBREVIATIONS

- | | |
|-------|---------------------------------|
| (E) | EXISTING |
| (R) | RELOCATED |
| ABV | ABOVE |
| ADA | AMERICANS WITH DISABILITIES ACT |
| AFB | ABOVE FINISHED FLOOR |
| AFG | ABOVE FINISHED GRADE |
| AHJ | AUTHORITY HAVING JURISDICTION |
| BEL | BELOW |
| BFF | BELOW FINISHED FLOOR |
| BFG | BELOW FINISHED GRADE |
| BOH | BACK OF HOUSE |
| CLG | CEILING |
| CONT. | CONTINUE |
| CTE | CONNECT TO EXISTING |
| DN | DOWN |
| EXT'G | EXISTING |
| FLR | FLOOR |
| FOH | FRONT OF HOUSE |
| GC | GENERAL CONTRACTOR |
| KES | KITCHEN EQUIPMENT SUPPLIER |
| LL | LANDLORD |
| LS | LIGHTING SUPPLIER |
| NTS | NOT TO SCALE |
| OH | OVERHEAD |
| TYP | TYPICAL |
| U/G | UNDERGROUND |
| UNO | UNLESS NOTED OTHERWISE |
| W/ | WITH |
| W/C | WALK-IN COOLER |
| W/F | WALK-IN FREEZER |



BRANCH TAKE-OFF FITTING DETAIL



CEILING MOUNTED SUPPLY AIR DIFFUSER DETAIL

CONSULTANT:

Geoffrey J. Bacci II
P.E.

1001 N. LAMAR STREET 469-722-7774
STE. 100 JOB NO.: 33806
DALLAS, TX 75202 DESIGNED BY: JTH



SEAL:



SHEET TITLE:
MECHANICAL PLAN &
SCHEDULES

05/09/2025

REVISIONS:

No.	Description	Date
1	City Comments Rev. 1	06/26/2025
2	City Comments Rev. 2	07/18/2025

JOB No.: 33806

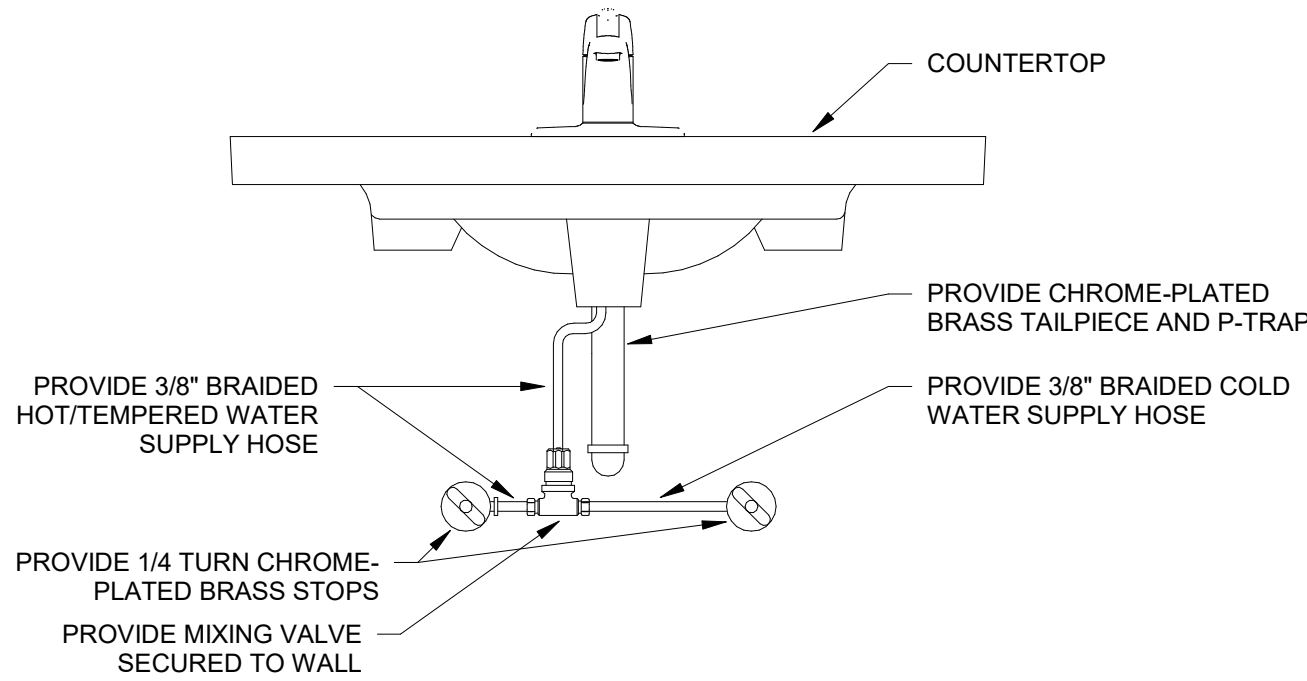
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M101

7/18/2025 9:15:42 AM

PLUMBING FIXTURE SCHEDULE

TAG	DESCRIPTION	QUANTITY	BASIS FOR DESIGN		RESPONSIBILITY		CONNECTION SIZE			REMARKS
			MANUFACTURER	MODEL	FURNISH	INSTALL	CW	HW	WASTE	
BF-1	BOTTLE FILLING STATION	1	ELKAY	LZSTL8WSLK	GC	GC	1/2"	0"	1 1/2"	2" CAST IRON FLOOR DRAIN WITH 5"Ø ROUND NICKEL BRONZE STRAINER, MEMBRANE FLASHING CLAMP, AND 1/2" TRAP PRIMER CONNECTION. CLEAN AND POLISH ROUND STRAINER TOP AFTER INSTALLATION.
FD-1	FLOOR DRAIN	3	J.R. SMITH	2005-A05NB	GC	GC	1/2"		2"	
LAV-1	ADA WALL MOUNTED LAVATORY	2	KOHLER	K-1997-1	GC	GC	1/2"	1/2"	1 1/2"	VITREOUS CHINA, WALL MOUNTED, SINGLE HOLE. PROVIDE KOHLER FAUCET MODEL K-13462, ADA WITH AC-POWER MODEL K-13480-A-NA.
LAV-2	ADA CHILD WALL MOUNTED LAVATORY	1	KOHLER	K-77767-1	GC	GC	1/2"	1/2"	1 1/2"	VITREOUS CHINA, WALL MOUNTED, SINGLE HOLE. PROVIDE KOHLER FAUCET MODEL K-13462, ADA WITH AC-POWER MODEL K-13480-A-NA.
MS-1	MOP SINK	1	EAGLE GROUP	F-2820	GC	GC	1/2"	1/2"	2"	FURNISH WITH SERVICE FAUCET (MODEL #312690), MOP HANGER (MODEL #312688), AND HOSE & BRACKET (MODEL #312689).
P-1	HOT WATER RECIRC PUMP	1	GRUNDFOS	ALPHA1 15-55SF	GC	GC		1/2"		120V LEAD FREE CONSTANT PRESSURE RECIRCULATING PUMP WITH STAINLESS FLANGE AND TERMINAL BOX
WC-1	ADA WATER CLOSET	2	AMERICAN STANDARD	2886.204	GC	GC	1/2"		3"	FLOOR MOUNTED, TANK TYPE, ADA COMPLIANT, ELOGNATED BOWL, 1.28GPF WATER CLOSET WITH TRIP LEVER ON APPROACH SIDE. FURNISH WITH KOHLER K-4731-SC SEAT. PROVIDE 1/4 TURN ANGLE BALL STOP WITH METAL HANDLE.
WC-2	ADA CHILD WATER CLOSET	1	AMERICAN STANDARD	2315.228	GC	GC	1/2"		3"	FLOOR MOUNTED 10" HIGH, TANK TYPE, ADA COMPLIANT, ELOGNATED BOWL, 1.28GPF WATER CLOSET WITH TRIP LEVER ON APPROACH SIDE. FURNISH WITH AMERICAN STANDARD #5001G.055 BABY DEVORO SEAT WITH EVERGLEEN LESS COVER. PROVIDE 1/4 TURN ANGLE BALL STOP WITH METAL HANDLE.

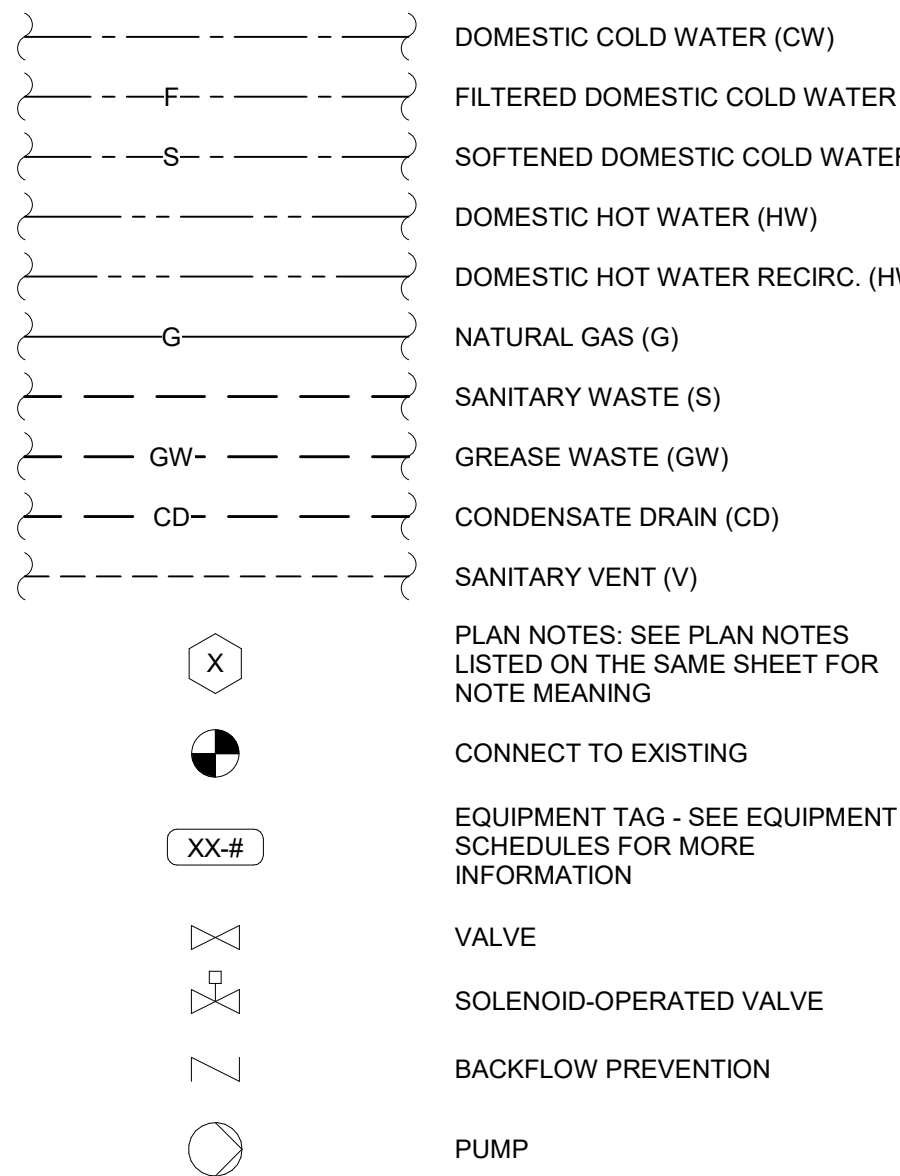


3 LAVATORY TEMPERING VALVE DETAIL
P101 NOT TO SCALE

MATERIAL SCHEDULE

CATEGORY	APPLICATION	ALLOWABLE MATERIAL
WASTE PIPING	ABOVE GROUND	SERVICE-WEIGHT HUBLESS CAST IRON DWV PIPE OR SCHEDULE 40 PVC DWV AND FITTINGS
	BELOW GROUND	SERVICE-WEIGHT HUBLESS CAST IRON OR SCHEDULE 40 PVC DWV PIPE AND FITTINGS
VENT PIPING	ABOVE GROUND	SERVICE-WEIGHT HUBLESS CAST IRON OR SCHEDULE 40 PVC DWV PIPE AND FITTINGS
	BELOW GROUND	SERVICE-WEIGHT HUBLESS CAST IRON OR SCHEDULE 40 PVC DWV PIPE AND FITTINGS
WATER SUPPLY PIPING	ABOVE GROUND	TYPE L COPPER TUBE, INSULATED.
	BELOW GROUND	TYPE K COPPER TUBE INSULATED

PLUMBING SYMBOLS

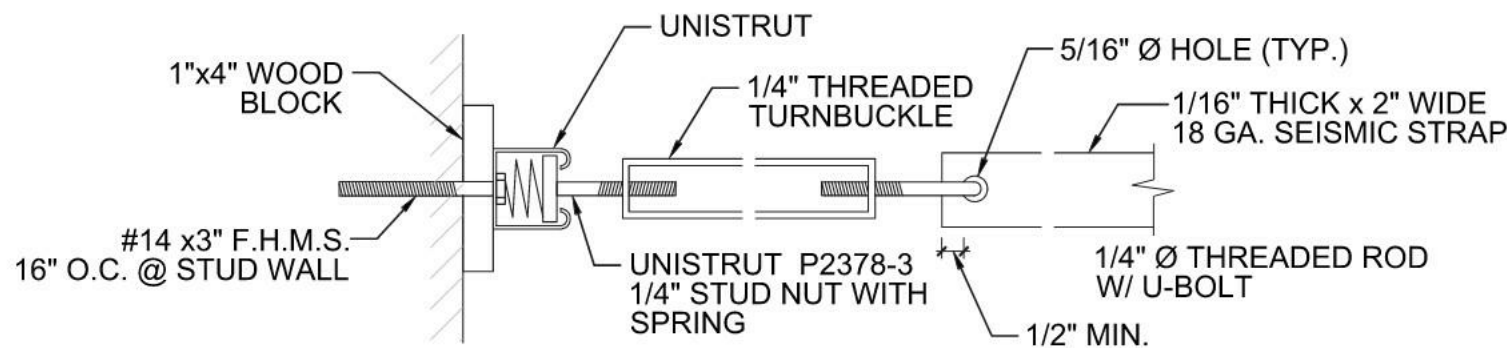


ABBREVIATIONS

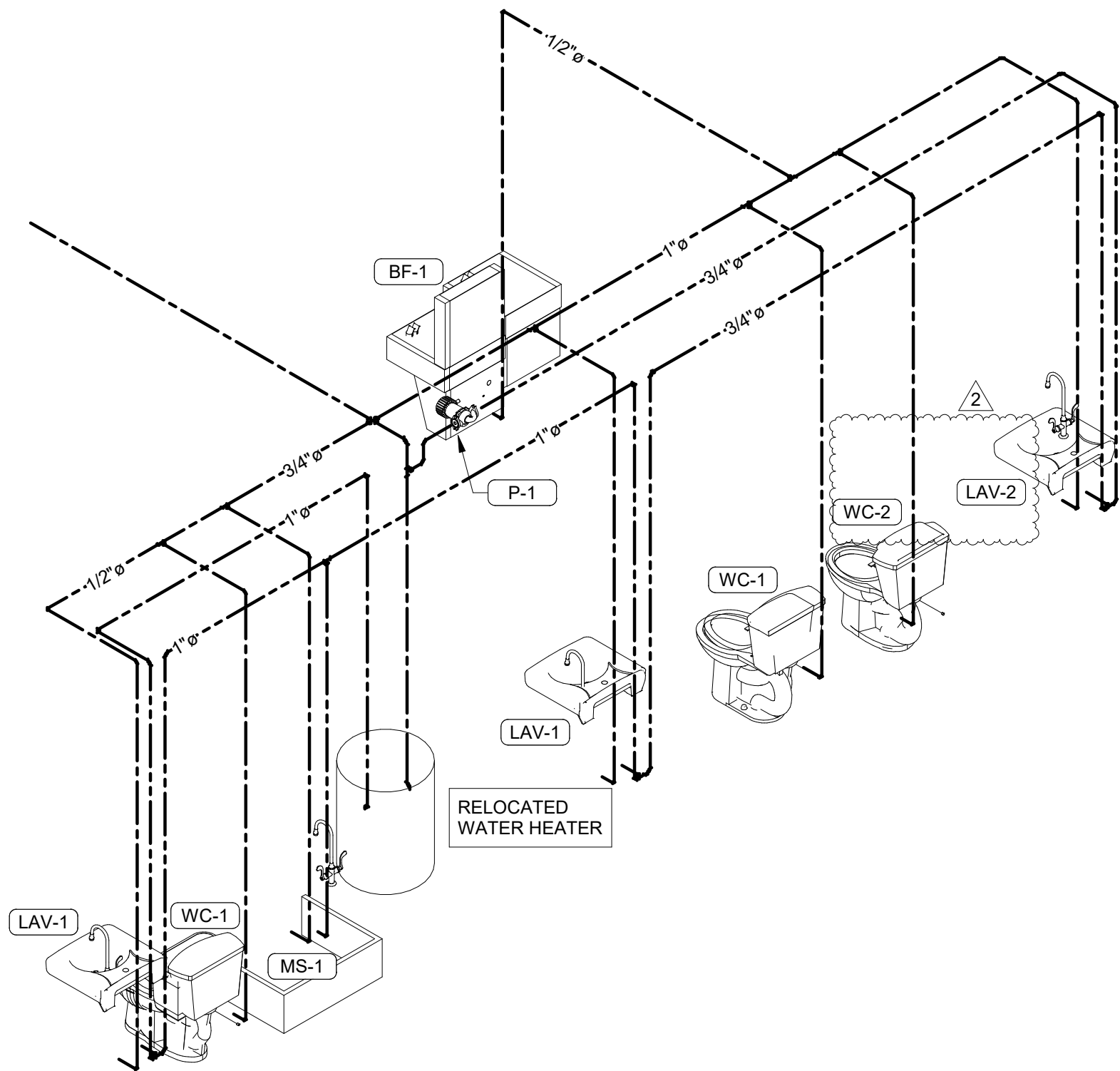
(E)	EXISTING
(R)	RELOCATED
ABV	ABOVE
ADA	AMERICANS WITH DISABILITIES ACT
AFF	ABOVE FINISHED FLOOR
AFG	ABOVE FINISHED GRADE
AHJ	AUTHORITY HAVING JURISDICTION
BEL	BELOW
BFF	BELOW FINISHED FLOOR
BFG	BELOW FINISHED GRADE
BFP	BACKFLOW PREVENTER
BOH	BACK OF HOUSE
CLG	CEILING
CONT.	CONTINUE
CTE	CONNECT TO EXISTING
CW	DOMESTIC COLD WATER
DN	DOWN
EXT'G	EXISTING
FLR	FLOOR
FOH	FRONT OF HOUSE
FW	FILTERED WATER
GC	GENERAL CONTRACTOR
GW	GREASE WASTE
HW	HOT WATER
KES	KITCHEN EQUIPMENT SUPPLIER
LL	LANDLORD
LS	LIGHTING SUPPLIER
NG	NATURAL GAS
NTS	NOT TO SCALE
O/H	OVERHEAD
SS	SANITARY SEWER
SW	SOFTENED WATER
TYP	TYPICAL
U/G	UNDERGROUND
UNO	UNLESS NOTED OTHERWISE
W/	WITH
WIC	WALK-IN COOLER
WIF	WALK-IN FREEZER

PLUMBING PLAN NOTES

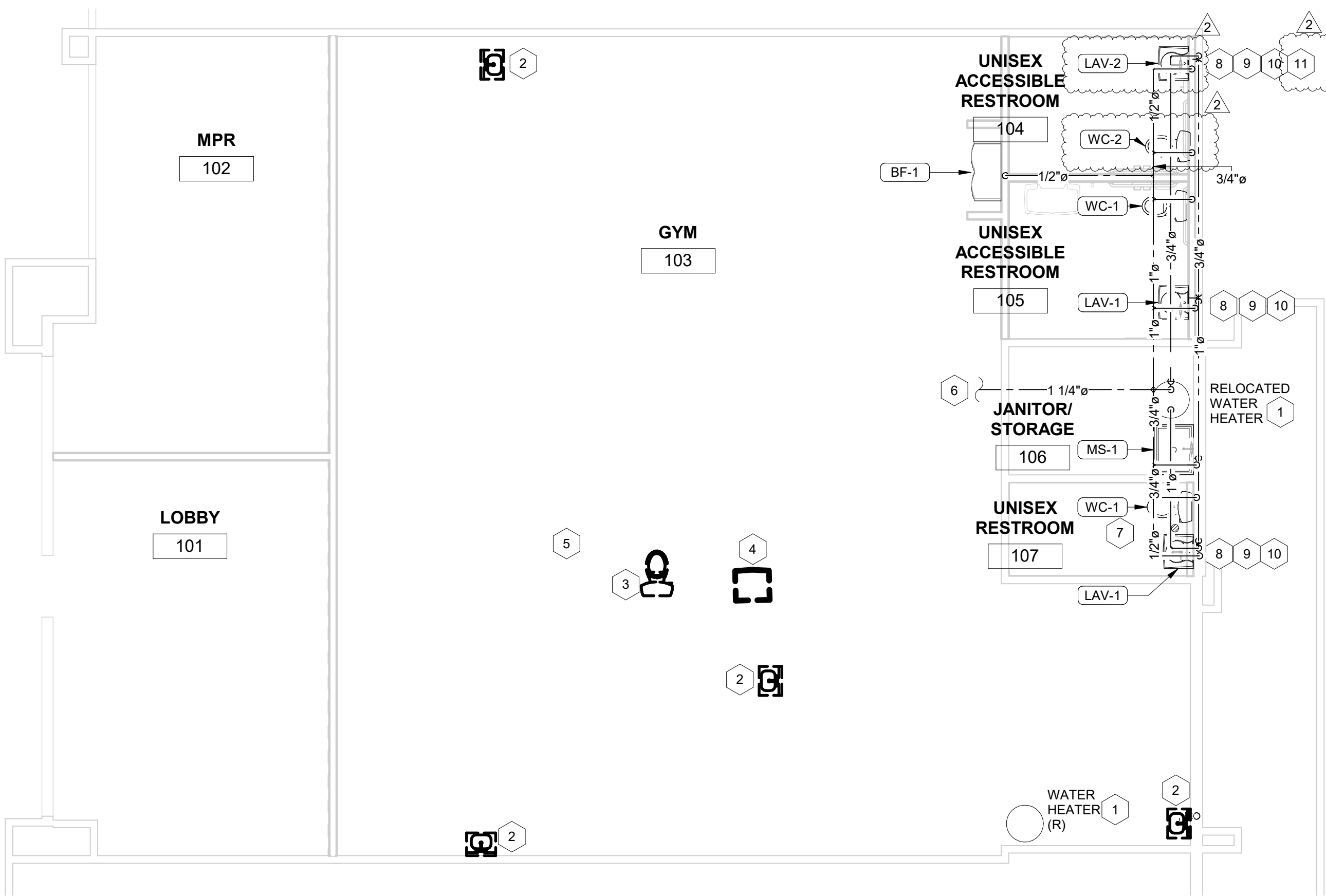
- DISCONNECT EXISTING WATER HEATER AND RELOCATE TO LOCATION SHOWN. EXTEND AND RECONNECT POWER AND WATER CONNECTIONS TO RELOCATED WATER HEATER. PROVIDE SEISMIC STRAPPING FOR WATER HEATER. SEE DETAIL 4/P101. ROUTE T&P RELIEF TO MOP SINK. DRAIN WITH AIR GAP.
- DEMOLISH EXISTING HAND SINK. DEMO DOMESTIC COLD AND HOT WATER BRANCHES BACK TO MAIN AND CAP.
- DEMOLISH EXISTING WATER CLOSET. DEMO DOMESTIC COLD WATER BRANCH BACK TO MAIN AND CAP.
- DEMOLISH EXISTING LAVATORY. DEMO DOMESTIC COLD AND HOT WATER BRANCHES BACK TO MAIN AND CAP.
- DEMO DOMESTIC COLD WATER BRANCH BACK TO MAIN AND CAP.
- FIELD VERIFY EXACT LOCATION OF EXISTING DOMESTIC COLD WATER LINE. CONNECT TO EXISTING DOMESTIC COLD WATER LINE AT LOCATION OF EQUAL OR GREATER SIZE.
- DEMOLISH EXISTING SHOWER. DEMO DOMESTIC COLD AND HOT WATER BRANCHES BACK TO MAIN AND CAP.
- PROVIDE WATTS REGULATOR MODEL L111 UNDERSINK ASSE 1070 LEAD FREE THERMOSTATIC MIXING VALVE. SET TO 110°F.
- ROUTE HW LINE DOWN IN WALL TO BELOW LAVATORY (LAV-1) 18" AFF.
- CONTRACTOR SHALL COVER AND INSULATE ALL EXPOSED PIPING UNDER THE LAVATORY PER CBC 11B-606.5.
- INSTALL LAV-2 30" AFF.



4 WATER HEATER STRAPPING
P101 NOT TO SCALE



2 DOMESTIC WATER SUPPLY RISER
P101 NOT TO SCALE



1 PLUMBING SUPPLY FLOOR PLAN
P101 3/16\"/>

CONSULTANT:

Geoffrey J. Bacci II
P.E.

1001 N. LAMAR STREET STE. 100 DALLAS, TX 75202 469-722-7774 JOB NO.: 33806 DESIGNED BY: JTH



SEAL:

THE LITTLE GYM IRVINE
3992D BARRANCA PARKWAY
IRVINE, CA 92606

SHEET TITLE:
PLUMBING - SUPPLY
PLAN

05/09/2025

REVISIONS:

No.	Description	Date
1	City Comments Rev. 1	06/26/2025
2	City Comments Rev. 2	07/18/2025

JOB No.: 33806

DRAWN BY: JTH

P101

PLUMBING GENERAL NOTES

1. ALL DRAIN PIPING SHALL SLOPE AT A MINIMUM OF 2% PER CPC 708.0.

PLUMBING PLAN NOTES

- 1 DEMOLISH EXISTING HAND SINK. CAP VENT CONNECTION ABOVE CEILING AND SANITARY PIPING IN WALL OR BELOW SLAB.
- 2 DEMOLISH EXISTING WATER CLOSET. CAP VENT CONNECTION ABOVE CEILING AND SANITARY PIPING BELOW SLAB.
- 3 DEMOLISH EXISTING LAVATORY. CAP VENT CONNECTION ABOVE CEILING AND SANITARY PIPING BELOW SLAB.
- 4 CAP FORMER DRINKING FOUNTAIN VENT CONNECTION ABOVE CEILING AND SANITARY PIPING BELOW SLAB.
- 5 DEMOLISH EXISTING SHOWER. EXTEND SANITARY PIPING TO NEW FLOOR DRAIN.
- 6 DEMOLISH EXISTING FLOOR DRAIN. DEMO DOMESTIC COLD WATER FOR TRAP PRIMER BRANCH BACK TO MAIN AND CAP. CAP VENT CONNECTION ABOVE CEILING AND SANITARY PIPING BELOW SLAB.
- 7 DEMOLISH EXISTING FLOOR DRAIN. EXTEND EXISTING SANITARY SEWER AS SHOWN.
- 8 FIELD VERIFY EXACT LOCATION OF EXISTING VENT PIPING. CONNECT TO EXISTING VENT PIPING SYSTEM AT LOCATION OF EQUAL OR GREATER SIZE.
- 9 FIELD VERIFY EXACT LOCATION OF EXISTING SANITARY SEWER LINE. CONNECT TO EXISTING SANITARY SEWER LINE AT LOCATIONS OF EQUAL OR GREATER SIZE.
- 10 CONTRACTOR SHALL COVER AND INSULATE ALL EXPOSED PIPING UNDER THE LAVATORY PER CBC 11B-606.5.

CONSULTANT:

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1001 N. LAMAR STREET 409-722-7774
STE. 100 JOB NO.: 33806
DALLAS, TX 75202 DESIGNED BY: JTH



SEAL:

THE Little Gym
THE LITTLE GYM IRVINE
3992D BARRANCA PARKWAY
IRVINE, CA 92606

SHEET TITLE:
PLUMBING - WASTE
AND VENT PLAN

05/09/2025

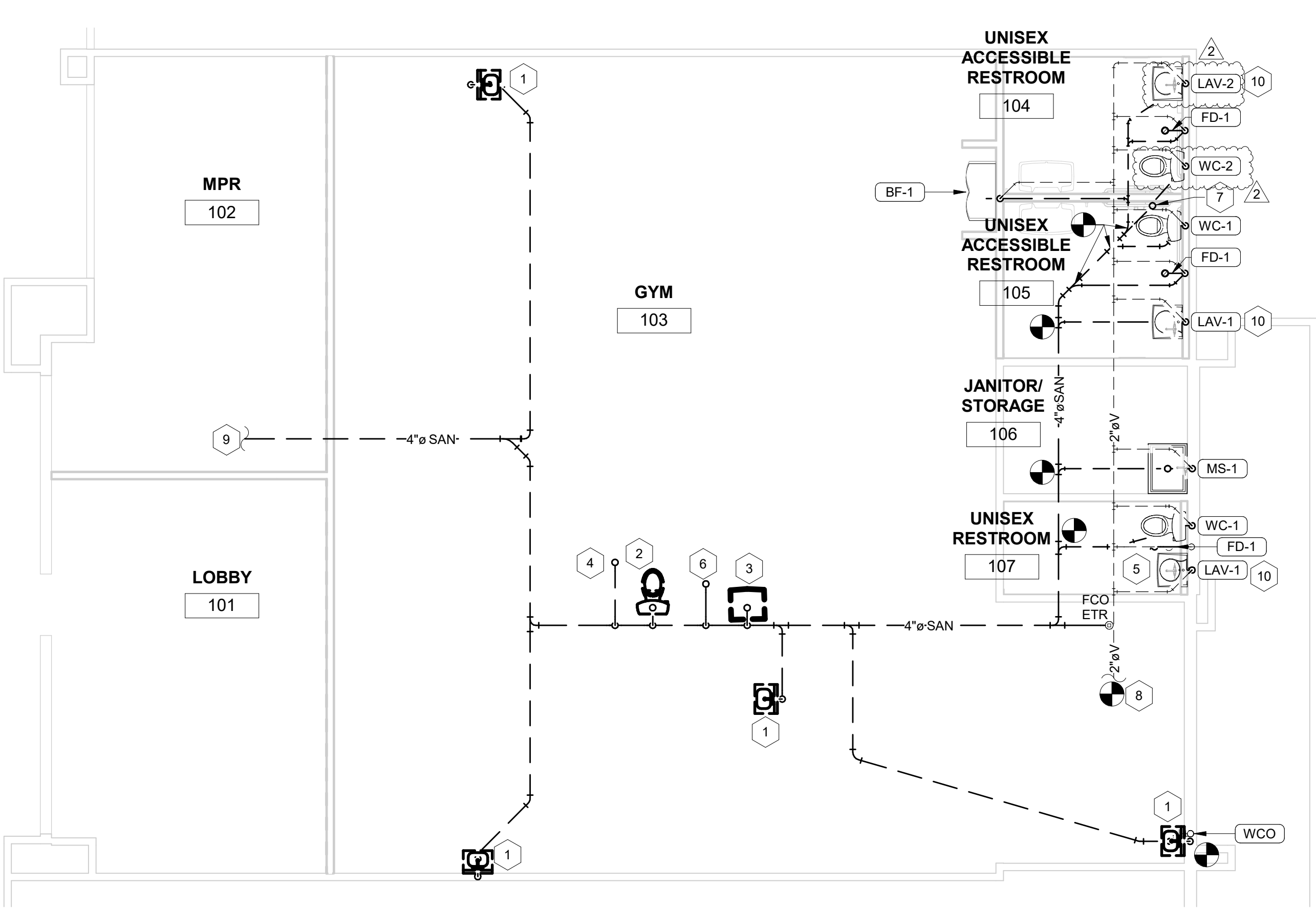
REVISIONS:

No.	Description	Date
1	City Comments Rev. 1	06/26/2025
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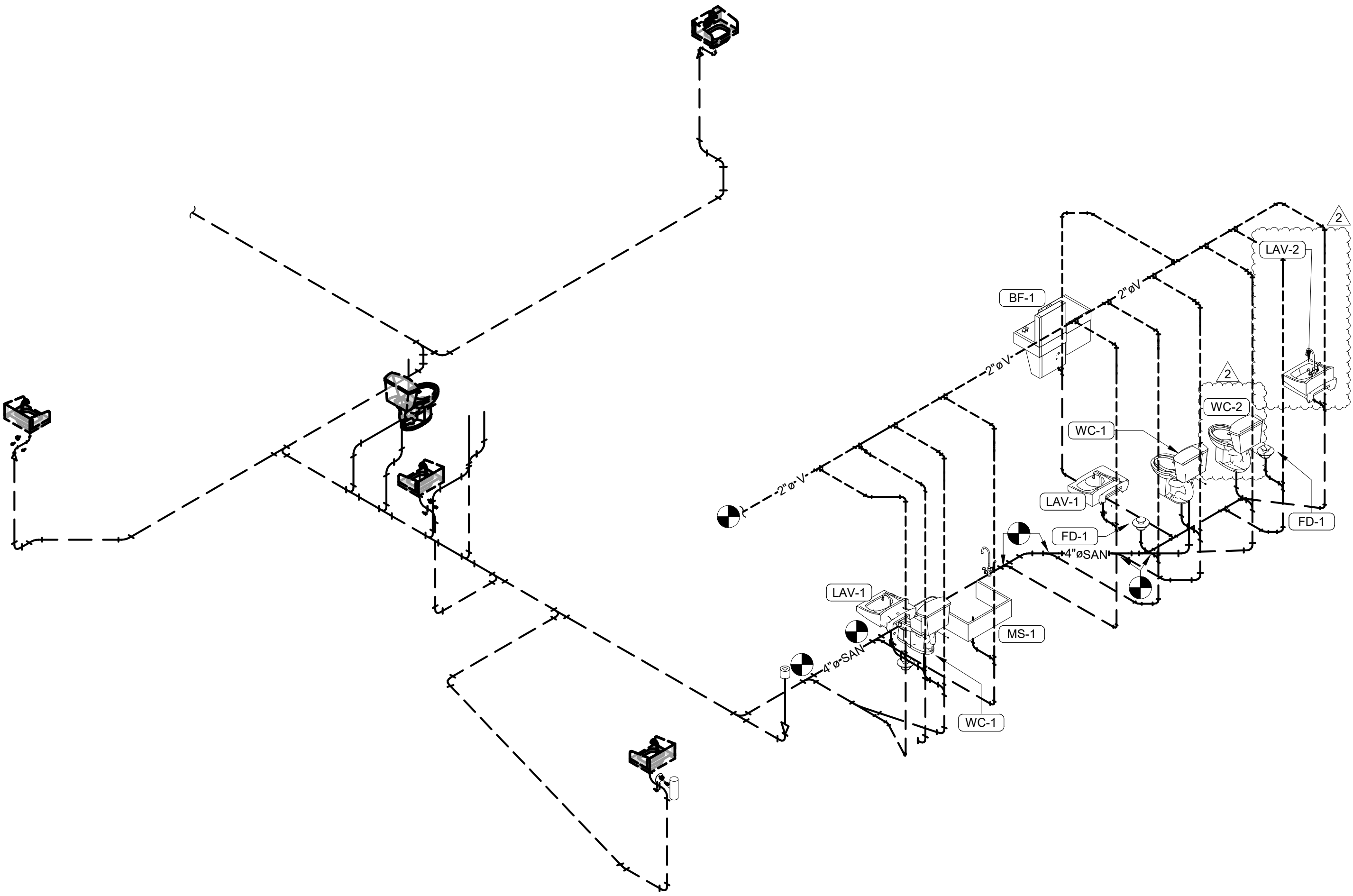
JOB No.: 33806

DRAWN BY: JTH

P111





1 PLUMBING WASTE & VENT FLOOR PLAN
P111 3/16" = 1'-0"





2 DWV RISER
P111 NOT TO SCALE


ELECTRICAL SYMBOLS



XXX-#



SINGLE 5-20R WALL-MOUNTED RECEPTACLE



DUPLEX 5-20R WALL-MOUNTED RECEPTACLE



QUAD 5-20R WALL-MOUNTED RECEPTACLE



GFCI DUPLEX 5-20R WALL-MOUNTED RECEPTACLE



GFCI QUAD 5-20R WALL-MOUNTED RECEPTACLE



OTHER RECEPTACLE (SEE PLANS FOR NEMA RATING)



JUNCTION BOX



SINGLE POLE SWITCH



DIMMER SWITCH (COMPATIBLE WITH THE CONNECTED LOAD)



WALL-MOUNTED OCCUPANCY SWITCH (DUAL TECHNOLOGY)



SINGLE-GANG J-BOX FOR DATA JACKS



DOUBLE-GANG J-BOX FOR DATA JACKS



SINGLE-GANG J-BOX FOR TELEPHONE JACKS



DOUBLE-GANG J-BOX FOR TELEPHONE JACKS



SINGLE-GANG J-BOX FOR A MIXTURE OF DATA AND TELEPHONE JACKS



DOUBLE-GANG J-BOX FOR A MIXTURE OF DATA AND TELEPHONE JACKS



DISCONNECT SWITCH:
XX: SWITCH RATING
YY: FUSE RATING (OR "NF" FOR NONFUSED)
ZZ: NUMBER OF POLES



DUAL HEAD EMERGENCY LIGHT FIXTURE (BATTERY PACK).



SINGLE 5-20R CEILING-MOUNTED RECEPTACLE



DUPLEX 5-20R CEILING-MOUNTED RECEPTACLE



QUAD 5-20R CEILING-MOUNTED RECEPTACLE


GFCI DUPLEX 5-20R CEILING-MOUNTED RECEPTACLE


GFCI QUAD 5-20R CEILING-MOUNTED RECEPTACLE


QUAD 5-20R FLOOR-MOUNTED RECEPTACLE


CEILING-MOUNTED J-BOX


LIGHT FIXTURE WITH BATTERY BACKUP

XXXXYZ

ABBREVIATIONS

- (E) EXISTING
- (R) RELOCATED
- ABV ABOVE
- ADA AMERICANS WITH DISABILITIES ACT
- AFF ABOVE FINISHED FLOOR
- AFG ABOVE FINISHED GRADE
- AHJ AUTHORITY HAVING JURISDICTION
- BEL BELOW
- BFF BELOW FINISHED FLOOR
- BFG BELOW FINISHED GRADE
- BOH BACK OF HOUSE
- CLG CEILING
- CONT. CONTINUE
- CTE CONNECT TO EXISTING
- DN DOWN
- EXT'G EXISTING
- FLR FLOOR
- FOH FRONT OF HOUSE
- GC GENERAL CONTRACTOR
- GFCI GROUND FAULT CIRCUIT INTERRUPTER
- IG ISOLATED GROUND
- KES KITCHEN EQUIPMENT SUPPLIER
- LL LANDLORD
- LS LIGHTING SUPPLIER
- NF NON-FUSED
- NL NIGHT LIGHT
- NTS NOT TO SCALE
- OIH OVERHEAD
- TYP TYPICAL
- UG UNDERGROUND
- UNO UNLESS NOTED OTHERWISE
- WI WITH
- WIC WALK-IN COOLER
- WIF WALK-IN FREEZER
- WP WEATHERPROOF

ELECTRICAL GENERAL NOTES

- A GENERAL NOTES APPLY TO ELECTRICAL SHEETS.
- B ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE ELECTRICAL CODE AND IN ACCORDANCE WITH THE AUTHORITY HAVING JURISDICTION. SEE ARCHITECTURAL SHEETS FOR THE PREVAILING CODES.
- C PROVIDE BRANCH CIRCUIT CONDUCTORS SIZED PER THE CHART ON SHEET E200.
- D INDIVIDUAL CONDUIT HOME RUNS SHOWN SHALL NOT BE CONSOLIDATED. PROVIDE A DEDICATED NEUTRAL FOR EACH CIRCUIT POWERING A NEW DEVICE (NO SHARED NEUTRALS).
- E CIRCUIT EMERGENCY LIGHTS, ILLUMINATED EXIT SIGNS, AND NIGHT LIGHTS AHEAD OF LOCAL SWITCHING.
- F INSTALL WALL SWITCHES AT 48" AFF TO CENTER OF SWITCH AND RECEPTACLES AT 18" AFF TO CENTER OF RECEPTACLE UNLESS NOTED OTHERWISE.
- G INSTALL CONDUIT CONCEALED ABOVE THE CEILING, IN WALLS, OR IN RACEWAYS. EXPOSED CONDUITS ARE NOT ACCEPTABLE.
- H PROVIDE 1" CONDUIT WITH PULL STRING FROM EACH J-BOX FOR TELEPHONE OR DATA JACKS TO ABOVE OFFICE CEILINGS. PROVIDE CONDUITS WITH MINIMAL ELBOWS AND TERMINATE CONDUITS ABOVE OFFICE CEILING WITH CONDUIT BUSHING.
- I THE TERM "FURNISH" MEANS SUPPLY AND DELIVER TO THE PROJECT SITE, READY FOR UNLOADING, UNPACKING, ASSEMBLY, INSTALLATION, AND SIMILAR OPERATIONS. THE TERM "INSTALL" DESCRIBES THE OPERATIONS AT THE PROJECT SITE INCLUDING THE ACTUAL UNLOADING, UNPACKING, ASSEMBLY, ERECTING, PLACING, ANCHORING, APPLYING, WORKING TO DIMENSION, FINISHING, CURING, PROTECTING, CLEANING, AND SIMILAR OPERATIONS. THE TERM "PROVIDE" MEANS TO FURNISH AND INSTALL, COMPLETE AND READY FOR THE INTENDED USE.
- J DIMENSIONS SHOWN IN ELECTRICAL ELEVATIONS ARE FROM THE WALL FRAMING UNLESS NOTED OTHERWISE.
- K ALL PENETRATIONS IN FIRE-RATED ASSEMBLIES SHALL BE SEALED WITH UL-LISTED FIRE STOPPING MATERIAL TO MAINTAIN THE INTEGRITY OF THE LISTED ASSEMBLY.
- L COORDINATE DEVICE COLOR WITH COVER PLATE. COVER PLATE AND DEVICE COLOR SHALL MATCH ADJACENT SURFACES AS SHOWN IN THE FINISH SCHEDULES OF THE ARCHITECTURAL DRAWINGS.
- M PROVIDE A PROTECTIVE COAT OF PAINT TO RESIST DAMAGE ON ALL ELECTRICAL EQUIPMENT AND APPURTENANCES. DO NOT PAINT OVER NAMEPLATES.
- N INSTALL CONDUIT IN A NEAT AND ORDERLY FASHION. ALL ELECTRICAL CONDUITS SHALL BE EMT AND A MINIMUM OF 3/4".
- O PROVIDE TYPED PANEL SCHEDULES FOR EACH PANEL IN THE TENANT SPACE (HAND WRITTEN SCHEDULES ARE NOT ACCEPTABLE).
- P INSTALL RECEPTACLES ON THE BACK WALL OF THE SERVING AREA WITH STAINLESS STEEL COVER PLATES AND MOUNTED HORIZONTALLY UNO.
- Q PROVIDE ALL NECESSARY COMPONENTS TO MAKE FINAL CONNECTIONS TO EQUIPMENT SHOWN, INCLUDING THE INSTALLATION OF COMPONENTS NOT SHOWN OR SHIPPED LOOSE.
- R DRAWINGS ARE DIAGRAMMATIC AND INDICATE GENERAL ARRANGEMENT OF SYSTEMS AND WORK INCLUDED. FOLLOW DRAWINGS IN LAYING OUT WORK AND CHECK DRAWINGS AND/OR WORK OF OTHER TRADES TO VERIFY SPACE IN WHICH WORK WILL BE INSTALLED. MAINTAIN ALL CODE-REQUIRED HEADROOM AND SPACE CONDITIONS AT ALL TIMES.
- S SUPPORT PANELBOARDS, JUNCTION BOXES, AND PULL BOXES INDEPENDENTLY TO BUILDING STRUCTURE WITH NO WEIGHT BEARING ON RACEWAYS.
- T PROVIDE AN INSULATED EQUIPMENT GROUND CONDUCTOR OF ALL FEEDER AND BRANCH CIRCUITS. EGC SHALL BE INSTALLED THE ENTIRE LENGTH OF ALL BRANCH CIRCUIT RUNS AND SHALL BE BONDED TO EACH BOX AND DEVICE IN THE CIRCUIT.
- U LIGHTING, POWER, AND TELEPHONE AND DATA DEVICES SHALL NOT BE PLACED BACK-TO-BACK.
- V MC CABLE IS ALLOWED WHERE ALLOWED BY THE BUILDING OWNER, CODE, AND THE AHJ.
- W PROVIDE LABOR AND MATERIALS TO MAINTAIN FEEDERS AND BRANCH CIRCUITS TO REMAIN. WHERE EXISTING CIRCUITS ARE ROUTED IN AREAS BEING DEMOLISHED, RE-ROUTE IN NEW CONSTRUCTION AND RECONNECT.
- X EXERCISE CAUTION AROUND ALARM AND SECURITY CABLES DURING DEMOLITION AND CONSTRUCTION. PROTECT ALARM AND SECURITY CABLES FROM ACCIDENTAL DAMAGE SO THAT SYSTEMS REMAIN OPERATIONAL AT ALL TIMES. ADVISE STORE MANAGER OF ANY DISRUPTION TO ALARM AND SECURITY SYSTEM PRIOR TO DISRUPTION.
- Y REMOVE OR RELOCATE ELECTRICAL EQUIPMENT AND CONDUIT AS INDICATED ON THE DRAWINGS, AND AS REQUIRED BY DEMOLITION. ALL PANELS, DISCONNECT SWITCHES, BOXES, RELAYS, TIME SWITCHES, LIGHTS, DEVICES, ETC. BEING ABANDONED SHALL BE REMOVED. ABANDONED CONDUIT ENTERING WALLS OR FLOORS SHALL BE REMOVED BACK TO FINISHED SURFACE AND CAPPED INSIDE. REPAIR SURFACE TO MATCH ADJACENT.
- Z OUTLET COVER PLATES IN KITCHEN AREAS SHALL BE STAINLESS STEEL.
- ZA CONTRACTOR SHALL FIELD VERIFY LIGHTING FIXTURE VOLTAGE PRIOR TO RELOCATING OR RECIRCUITING LIGHTING FIXTURES.

ELECTRICAL SHEET LIST

E001	ELECTRICAL SYMBOLS, NOTES AND DETAILS
E002	ELECTRICAL SPECIFICATIONS
E003	ENERGY COMPLIANCE FORMS
E101	ELECTRICAL LIGHTING PLAN
E102	ELECTRICAL PHOTOMETRICS PLAN
E111	ELECTRICAL POWER PLAN
E200	ELECTRICAL SCHEDULES

ELECTRICAL GENERAL NOTES

CONSULTANT:



Aaron M. Fiegel

P.E.

SUITE 3842

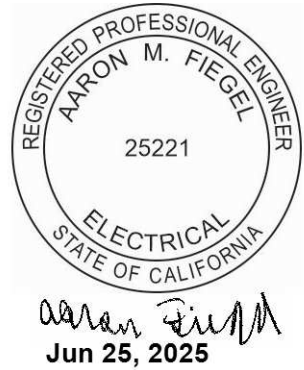
1806 N 2ND ST

ROGERS, AR 72756

479-638-5004

JOB NO.: 33806

DESIGNED BY: KNY / TRM



SEAL:



THE LITTLE GYM IRVINE

3992D BARRANCA PARKWAY

IRVINE, CA 92606

SHEET TITLE:
ELECTRICAL
SYMBOLS, NOTES
AND DETAILS

05/09/2025

REVISIONS:

No.	Description	Date
1	AHJ COMMENTS	06/25/2025

JOB No.: 33806

DRAWN BY: KNY/TRM

E001

DIVISION 16 - ELECTRICAL SPECIFICATIONS

GENERAL PROVISIONS

- A. THE PROVISIONS OF THE INSTRUCTION TO BIDDERS, GENERAL CONDITIONS, SUPPLEMENTARY CONDITIONS, ALTERNATES, ADDENDA, ARE A PART OF THIS SPECIFICATION. A REQUIREMENT OCCURRING IN ONE IS AS BINDING AS THOUGH OCCURRING IN ALL.
- B. MATERIAL OR LABOR WHICH IS NOT INDICATED ON THE DRAWINGS OR SPECIFICATION BUT WHICH IS OBVIOUSLY NECESSARY TO COMPLETE THE WORK (AND IS USUALLY INCLUDED IN SIMILAR WORK) SHALL BE PROVIDED.
- C. EQUAL AND EQUIVALENT: SHALL BE UNDERSTOOD TO MEAN OF THE SAME QUANTITY, SIZE, NUMBER, VALUE, DEGREE, INTENSITY AND THE ITEMS ARE SIMILAR IN ALL RESPECTS.
- D. WHERE THE WORD "PROVIDE" APPEARS, IT SHALL BE INTERPRETED TO MEAN THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, EQUIPMENT AND SUPPLIES INCLUDING TESTS AND INSPECTIONS NECESSARY TO INSTALL AND PLACE IN OPERATING CONDITION.
- E. PROVIDE ALL EXCAVATION, CONCRETE AND BACKFILL REQUIRED FOR ELECTRICAL WORK EXCLUSIVELY. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE LOCAL A.H.J.

WORK INCLUDES

- A. INCLUDE ALL LABOR, MATERIAL, EQUIPMENT, SERVICES, PERMITS AND CERTIFICATES OF INSPECTION NECESSARY FOR THE PROPER COMPLETION OF ALL ELECTRICAL WORK. ITEMS OMITTED, BUT NECESSARY TO MAKE THE ELECTRICAL SYSTEM COMPLETE AND WORKABLE, SHALL BE UNDERSTOOD TO FORM PART OF THE WORK.
- B. IT IS THE PURPOSE OF THE ELECTRICAL DRAWINGS TO INDICATE THE APPROXIMATE LOCATION OF ALL EQUIPMENT, OUTLETS, ETC. ASCERTAIN EXACT LOCATIONS AND ARRANGE WORK ACCORDINGLY.
- C. THE ELECTRICAL DESIGN IS BASED ON THE 2023 EDITION OF THE CEC. THE ELECTRICAL CONTRACTOR SHALL INCLUDE IN HIS BID THE COST OF PROVIDING MATERIALS AND EQUIPMENT NECESSARY TO SATISFY LOCAL OR REGIONAL CODES.

RELATED WORK SPECIFIED ELSEWHERE

- A. TEMPERATURE CONTROLS ARE PROVIDED AND WIRED BY A CONTROLS CONTRACTOR AND MC.
- B. STARTERS - SUPPLIED AS AN INTEGRAL PART OF THE EQUIPMENT SHALL BE FURNISHED BY THE EQUIPMENT SUPPLIER. WIRING AND DISCONNECT SHALL BE BY EC.
- C. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH OTHER TRADES; MECHANICAL, PLUMBING, ETC., AND SHALL VERIFY EQUIPMENT AND DEVICE VOLTAGE, PHASE AND AMPACITY SPECIFICATION. THIS CONTRACTOR SHALL FURNISH AND INSTALL ALL NECESSARY WIRING, RACEWAYS AND PROTECTIVE DEVICES, ETC., AS REQUIRED FOR THE CORRECT AND PROPER OPERATION OF THE INSTALLED EQUIPMENT, IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

MATERIAL SUBSTITUTIONS

- A. THESE SPECIFICATIONS ESTABLISH QUALITY STANDARDS OF MATERIALS AND EQUIPMENT TO BE PROVIDED. SPECIFIC ITEMS ARE IDENTIFIED BY MANUFACTURER, TRADE NAME OR CATALOG DESIGNATION. THIS CONTRACTOR SHALL SUBMIT HIS BASE BID PRICE BASED UPON STANDARD SPECIFIED EQUIPMENT DESCRIBED HEREIN AND AS DETAILED ON DRAWINGS AND ASSOCIATED CONTRACT DOCUMENTS.
- B. THESE SPECIFICATIONS ARE NOT TO BE CONSIDERED PROPRIETY AND THE CONTRACTOR MAY SUBMIT MATERIALS OR MANUFACTURERS (OTHER THAN THOSE LISTED) FOR REVIEW BY THE ARCHITECT AND ENGINEER NO LATER THAN TEN (10) DAYS BEFORE BIDS ARE SUBMITTED.
- C. ACCEPTANCE OR REJECTION OF ANY PROPOSED SUBSTITUTIONS SHALL BE SUBJECT TO APPROVAL OF THE ARCHITECT AND ENGINEER. IF REQUESTED, THE CONTRACTOR SHALL SUBMIT (AT HIS COST) INSPECTION SAMPLES OF BOTH THE SPECIFIED AND THE PROPOSED SUBSTITUTE ITEMS.

CODES, PERMITS AND FEES

- A. SECURE AND PAY FOR ALL PERMITS AND INSPECTIONS REQUIRED FOR ELECTRICAL WORK. TURN OVER ALL CERTIFICATES OF APPROVAL, BY GOVERNING AGENCIES, TO THE ARCHITECT FOR TRANSMITTAL TO OWNER BEFORE PAYMENT IS MADE FOR THE WORK.
- B. GIVE THE PROPER AUTHORITIES NOTICES AS REQUIRED BY LAW RELATIVE TO THE WORK IN HIS CHARGE. COMPLY WITH THE REGULATIONS REGARDING TEMPORARY ENCLOSURES, OBSTRUCTIONS OR EXCAVATIONS AND PAY ALL LEGAL FEES INVOLVED.
- C. WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF THE 2023 EDITION OF THE CEC, AS INTERPRETED BY THE LOCAL BOARD HAVING JURISDICTION, AS WELL AS ANY FURTHER MODIFICATIONS OR REGULATIONS OF LOCAL OR STATE AUTHORITIES.
- D. PROVISIONS OF THE LATEST REVISIONS TO THE FEDERAL OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA) SHALL BE SATISFIED.

TESTS

- A. AFTER INSTALLATION BUT PRIOR TO ENERGIZATION, TEST FOR GROUNDS, SHORT CIRCUITS AND PROPER FUNCTION. FAULTS IN THE INSTALLATION SHALL BE CORRECTED.
- B. INSULATION RESISTANCE TESTS SHALL BE MADE ON THE ELECTRICAL SYSTEM WITH NOT LESS THAN 1000V D.C. USING AN APPROVED MEGOHMMETER (BIDDLE, MEGGER OR EQUAL) AND ALSO COMPLETE RESISTANCE/CONTINUITY TEST ON GROUNDING SYSTEM.
- C. CONDUCT SUCH TESTS AND ADJUSTMENTS OF THE EQUIPMENT AS REQUIRED BY THE ARCHITECT/ENGINEER OR AS NECESSARY TO VERIFY PERFORMANCE REQUIREMENTS. SUBMIT DATA TO THE ARCHITECT.

EQUIPMENT IDENTIFICATION

- A. PROVIDE NAME PLATES ON ALL EQUIPMENT OF THE TYPE LISTED IN THE FOLLOWING SCHEDULE:
- PANELBOARDS AND DISTRIBUTION EQUIPMENT
 - MOTOR STARTERS
 - SAFETY SWITCHES
 - CONTROL PANELS
 - CONTROL DEVICES
 - JUNCTION AND PULL BOXES
- B. LETTERING SHALL INCLUDE NAME OF EQUIPMENT, HORSEPOWER, VOLTAGE RATING AND SERVICE DESIGNATION.
- C. NAME PLATES SHALL BE LAMINATED PHENOLIC WITH A BLACK SURFACE AND WHITE CORE. NAME PLATES MAY BE ATTACHED TO WALL ADJACENT TO EQUIPMENT IF AREA FOR ATTACHMENT IS TOO SMALL. IDENTIFICATION WITH A DYMO TYPE INSTRUMENT IS NOT PERMISSIBLE.
- D. IDENTIFY FEEDER SOURCE FOR PANELBOARDS INDICATING FEEDER FUSE/CIRCUIT BREAKER SIZE AND LOCATION.

CLEANING AND FINISHING

- A. AFTER ALL TESTS HAVE BEEN COMPLETED, CLEAN ALL EQUIPMENT LEAVING EVERYTHING IN WORKING ORDER AT THE COMPLETION OF THIS WORK.
- B. ALL DEBRIS CREATED BY THE EXECUTION OF THIS WORK SHALL BE REMOVED.

CUTTING, PATCHING AND PAINTING

- A. AVOID CUTTING INTO THE WORK OF OTHERS BY USING SLEEVES, INSERTS, CHASES AND SIMILAR ITEMS NECESSARY FOR THE INSTALLATION.
- B. EXCEPT WHERE OTHERWISE SPECIFIED OR NOTED ON DRAWINGS, THE GENERAL CONTRACTOR SHALL DO ALL CUTTING AND PATCHING OF THE BUILDING AS REQUIRED TO INSTALL SLEEVES, INSERTS, CONDUITS AND ELECTRICAL EQUIPMENT.
- C. PAINTING SHALL BE PROVIDED UNDER OTHER DIVISIONS OF THIS SPECIFICATION.

TEMPORARY ELECTRIC SERVICE

- A. PROVIDE A TEMPORARY ELECTRICAL SERVICE ADEQUATE IN SIZE FOR THE USE OF ALL TRADES AND THE LIGHTING OF EACH ROOM DURING CONSTRUCTION. INCLUDE ALL UTILITY COMPANY CHARGES FOR PROVIDING A TEMPORARY SERVICE TO THE JOB SITE. THE COST OF ELECTRICITY USED DURING CONSTRUCTION IS UNDER THE GC SCOPE OF WORK.
- B. TEMPORARY WIRING SHALL BE TO CEC ARTICLE 305 AND O.S.H.A. REQUIREMENTS.

COORDINATION WITH OTHER TRADES

- A. CONSULT THE DRAWINGS COVERING THE WORK FOR THE VARIOUS OTHER TRADES, THE FIELD LAYOUTS OF THE CONTRACTORS FOR THE TRADES AND THEIR SHOP DRAWINGS. COORDINATE SCHEDULE ACCORDINGLY IN LAYING OUT WORK.
- B. KEEP FULLY INFORMED OF THE PROGRESS OF THE GENERAL CONSTRUCTION. INSTALL WORK THAT IS TO BE CONCEALED WITHIN THE BUILDING CONSTRUCTION IN SUFFICIENT TIME TO SECURE PROPER LOCATION WITHOUT DELAY TO THE WORK OF OTHER TRADES. ALL CONDUIT AND OUTLET BOXES CONCEALED IN MASONRY CONSTRUCTION SHALL BE INSTALLED DURING WALL CONSTRUCTION.
- C. EXAMINE THE WORK OF OTHER TRADES WHEN THEIR WORK COMES IN CONTACT WITH OR IS COVERED BY THIS WORK. DO NOT ATTACH TO, COVER UP, OR FINISH AGAINST ANY DEFECTIVE WORK, OR INSTAL WORK IN A MANNER WHICH WILL PREVENT PROPER INSTALLATION OF THE WORK OF OTHER TRADES.
- D. ALL OUTLETS, SWITCHES AND RECEPTACLES SHALL BE CENTERED WITH REGARD TO PANELING, TRIM EQUIPMENT, ETC., AND SHALL LINE UP WITH EITHER BOTTOM OR TOP OF MASONRY COURSES.
- E. TAKE ALL FIELD MEASUREMENTS NECESSARY AND ASSUME RESPONSIBILITY FOR THEIR ACCURACY.

GUARANTEE

- A. GUARANTEE ALL WORKMANSHIP AND MATERIALS PROVIDED UNDER THE CONTRACT FOR ONE YEAR AFTER ACCEPTANCE BY THE OWNER AND REPAIR OR REPLACE ANY DEFECT WITHOUT COST TO THE OWNER.

SUBMITTALS

- A. SUBMIT DRAWINGS AND WIRING DIAGRAMS IN ACCORDANCE WITH SPECIFICATIONS ON ALL ITEMS OF EQUIPMENT PROVIDED FOR REVIEW BY THE ENGINEER. THESE SHALL INCLUDE THE FOLLOWING: LIGHTING FIXTURES, PANELBOARDS, BATTERY PACKS, WIRING DEVICES, AND FIRE ALARM DEVICES.
- B. THE SUBMITTALS WILL BE REVIEWED ONLY FOR GENERAL COMPLIANCE AND NOT FOR DIMENSIONS, QUANTITIES, ETC. THE SUBMITTALS THAT ARE RETURNED SHALL BE USED FOR PROCUREMENT.
- C. THE CONTRACTOR SHALL INSURE SUBMITTALS BEAR THE CONTRACTORS' DATED APPROVAL STAMP AND INDICATE ALL OPTIONS. IF THE SUBMITTAL SHOWS VARIATIONS FROM THE REQUIREMENTS OF THE CONTRACT DOCUMENTS, FOR ANY REASON, THE CONTRACTOR SHALL MAKE SPECIFIC MENTION OF SUCH VARIATION IN HIS LETTER OF TRANSMITTAL.
- D. CONTRACTOR AGREES THAT SHOP DRAWING SUBMITTALS PROCESSED BY THE ENGINEER ARE NOT CHANGE ORDERS; THAT THE PURPOSE OF SHOP DRAWING SUBMITTALS BY THE CONTRACTOR IS TO DEMONSTRATE TO THE ENGINEER THAT THE CONTRACTOR UNDERSTANDS THE DESIGN CONCEPT. CONTRACTOR FURTHER AGREES THAT IF DEVIATIONS, DISCREPANCIES, OR CONFLICTS BETWEEN SHOP DRAWING SUBMITTALS AND THE CONTRACT DOCUMENTS IN THE FORM OF DESIGN DRAWINGS AND SPECIFICATIONS ARE DISCOVERED, THE DESIGN DRAWINGS AND SPECIFICATIONS SHALL CONTROL AND SHALL BE FOLLOWED.

RECORD DRAWINGS

- A. AFTER THE PROJECT IS COMPLETED THE CONTRACTOR SHALL DELIVER TO THE ARCHITECT ONE SET OF REPRODUCIBLES OF THE INSTALLATION AS ACTUALLY CONSTRUCTED.

WORKMANSHIP

- A. WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE BEST PRACTICES OF THE TRADE. ELECTRICAL WORK SHALL BE INSTALLED BY JOURNEYMEN ELECTRICIANS UNDER THE SUPERVISION OF A COMPETENT FOREMAN.

EQUIPMENT AND MATERIALS

- A. EQUIPMENT AND MATERIALS USED ON THIS JOB SHALL BE NEW, U.L. LABELED, AND O.S.H.A. APPROVED.
- B. EQUIPMENT AND MATERIALS SHALL BE PROTECTED AND BE THE RESPONSIBILITY OF THIS CONTRACTOR UNTIL FORMALLY ACCEPTED BY THE OWNER.

FIRE STOPPING

- A. IN ADDITION TO THE REQUIREMENTS SPECIFIED HEREIN, REFER TO ARCHITECTURAL SPECIFICATIONS FOR FIRE STOPPING GUIDELINES.
- B. ALL OPENINGS IN FIRE RATED FLOORS, SHAFTS AND WALLS ACCOMMODATING PENETRATING ITEMS SUCH AS CABLES, CONDUITS, RACEWAYS, CABLE TRAYS, OR BUSWAYS SHALL BE FIRE STOPPED.
- C. PROVIDE FIRE STOPPING FOR STEEL ELECTRICAL OUTLET BOXES THAT EXCEED 16 SQUARE INCHES IN AREA AND/OR WHEN THE AGGREGATE SURFACE OF THE BOXES EXCEEDS 100 SQUARE INCHES IN ANY 100 SQUARE FOOT OF WALL AREA. IN ADDITION, PROVIDE FIRE STOPPING FOR STEEL ELECTRICAL OUTLET BOXES ON OPPOSITE SIDES OF THE WALL THAT ARE NOT SEPERATED BY A HORIZONTAL DISTANCE OF 24 INCHES.
- D. THE INSTALLATION OF THE FIRE STOPPING MATERIALS SHALL CONFORM TO THE LATEST FIRE RESISTANCE DIRECTORY AS PUBLISHED BY U.L.
- E. FIRE STOPPING SHALL BE PERFORMED BY A CONTRACTOR TRAINED OR APPROVED BY THE FIRE STOPPING MANUFACTURER. EQUIPMENT USED SHALL BE IN ACCORDANCE WITH THE FIRE STOPPING MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS.
- F. ACCEPTABLE FIRE STOPPING MATERIAL MANUFACTURERS ARE SPECIFIED TECHNOLOGIES INC., TREMCO, INC., 3M, AND HILTI.

SOUND STOPPING

- A. SPACE BETWEEN WALL OR PARTITION AND CONDUIT SHALL BE PACKED WITH A FIRE RESISTANT MINERAL FIBER SIMILAR TO U.S. GYPSUM "THERMAFIBER", DOW CORNING 3-6548 SILICONE RTV FOAM, OR APPROVED EQUIVALENT.

MISCELLANEOUS STEEL

- A. CONTRACTOR SHALL FURNISH AND INSTALL ALL MISCELLANEOUS CARBON, GALVANIZED, STAINLESS STEEL REQUIRED FOR SUPPORTS, HANGERS, ANCHORS, ETC., OR AS MAY BE REQUIRED FOR INSTALLATION OF EQUIPMENT AND MATERIAL FURNISHED AND INSTALLED BY EC.
- B. DESIGN ALL MISCELLANEOUS STEEL IN ACCORDANCE WITH AISC STEEL HANDBOOK AND AS SPECIFIED UNDER ARCHITECTURAL SPECIFICATIONS. GIVE ALL SUCH STEEL ONE COAT OF PRIMER PAINT AS SPECIFIED UNDER ARCHITECTURAL SPECIFICATIONS UNLESS OTHERWISE NOTED.

SUPPORTING DEVICES

- A. ALL HANGERS AND SUPPORTS SHALL CONFORM TO LATEST REQUIREMENTS OF ANSI CODES, UNDERWRITERS LABORATORIES, INC., LISTED WHERE APPLICABLE.
- B. STEEL CHANNEL, FITTINGS, BRACKETS, BEAM CLAMPS AS MANUFACTURED BY UNISTRUT, ALLIED AND KINDORF OR AN APPROVED EQUAL.
- C. METAL FRAMING, FITTINGS, ETC., AS MANUFACTURED BY UNISTRUT, ALLIED AND KINDORF OR AN APPROVED EQUAL.
- D. CONCRETE INSERTS, ETC., AS MANUFACTURED BY UNISTRUT, ALLIED AND KINDORF OR AN APPROVED EQUAL.
- E. RUSTPROOF SELF DRILLING ANCHOR, SLEEVE ANCHOR, STUD ANCHOR, EXPANSION SHIELD (NALLEABLE ANCHOR OR DIE CAST), EXPANSION ANCHOR SIMILAR TO THOSE AS MANUFACTURED BY "RED HEAD", ITT PHILLIPS DRILL CO., UNIFAST INDUSTRIES, INC., OR AN APPROVED EQUAL. SIZE AS INDICATED ON DRAWINGS.

IDENTIFICATION

- A. AFTER FINISHED PAINTING IS COMPLETE, IDENTIFY EACH FEEDER CABLE AND CONDUIT SERVICE. LOCATE IDENTIFICATION:
- BEHIND EACH ACCESS DOOR.
 - AT EACH CHANGE OF DIRECTION AND AT JUNCTION BOXES.
 - AT NOT MORE THAN 40 FEET APART IN STRAIGHT RUNS OF CONDUIT BEHIND REMOVABLE ENCLOSURES SUCH AS LAY-IN TYPE CEILING, BUT ON BOTH SIDES OF SLEEVES THROUGH WALLS OF FLOORS.
 - ABOVE EACH FLOOR OR PLATFORM FOR VERTICAL EXPOSED CONDUITS, PREFERABLY 60" ABOVE FLOOR OR PLATFORM.
 - USE STENCILS AND STENCIL PAINT OR LAMACOID PLATES ON ALL CONDUIT.
 - USE MINIMUM 1" HIGH LETTERS.
 - THE IDENTIFICATION SHALL DESCRIBE SYSTEM VOLTAGE AND SERVICE, I.E. "120/208 VOLT LIGHTING TO PANEL AA".
 - IDENTIFY OUTLET BOXES FOR THE VARIOUS SYSTEMS BY THE USE OF THE FOLLOWING DISTINCTIVE COLOR PAINTS. APPLY A SMALL AREA OF PAINT TO THE INSIDE OF EACH OUTLET BOX, PULL BOX AND PANEL BOX IS BEING INSTALLED. IDENTIFY JUNCTION BOXES IN SUSPENDED CEILINGS AREAS WITH COLOR ON BOTH INSIDE AND OUTSIDE.
 - BLACK - 120/208 VOLT SYSTEM
 - GREEN - TELEPHONE/DATA SYSTEM
 - RED - FIRE ALARM SYSTEM

CONDUITS

- A. CONDUITS SHALL BE OF SIZES REQUIRED TO ACCOMODATE THE NUMBER OF CONDUCTORS IN ACCORDANCE WITH THE CALIFORNIA ELECTRICAL CODE WIRING TABLES OR AS INDICATED ON THE DRAWINGS, WHICHEVER IS LARGER.
- B. ALL CONDUITS SHALL BE PROVIDED WITH BUSHINGS.
- C. CONDUITS SHALL NOT BE RUN ON THE EXTERIOR OF THE BUILDING OR ON THE ROOF UNLESS SPECIFICALLY INDICATED ON THE DRAWINGS. THE ROUTING OF SUCH CONDUITS SHALL BE APPROVED BY THE ARCHITECT.
- D. EMPTY CONDUITS SHALL BE PROVIDED WITH #12 PULL WIRES.
- E. CONDUIT ENTRY INTO BUILDING SHALL BE WATER TIGHT.
- F. A SEPARATE IDENTIFICATION OF EACH CONDUIT SHALL BE INCREASED TO ACCEPT GROUND WHEN REQUIRED. VERTICAL TRANSITIONS SHALL BE MADE WITH RIGID STEEL ELLS.

WIRE AND CABLE

- A. WIRE AND CABLE FOR POWER AND LIGHTING FEEDERS LARGER THAN #6 AWG SHALL BE COPPER STRANDED 600 VOLT TYPE THHN/THWN OR XHHW COPPER WITH 90° RATING.
- B. WIRE AND CABLE FOR POWER AND LIGHTING BRANCH CIRCUITS SHALL BE THHN/THWN COPPER FOR #10 AND SMALLER AND THHW OR XHHW COPPER FOR #8 AND LARGER WITH 90° RATING.
- C. WIRE SIZE SHALL BE DETERMINED FROM THE APPROPRIATE C.E.C. TABLES UTILIZING THE NECESSARY DERATING FACTORS FOR TEMPERATURE, GROUNDING, ETC. MINIMUM WIRE SIZE FOR POWER AND LIGHTING CIRCUITS SHALL BE #12. WIRE SIZES #12 AND SMALLER SHALL BE SOLID. WIRE SIZES #10 AND LARGER SHALL BE STRANDED.
- D. INDIVIDUAL CIRCUITS ARE INDICATED ON THE DRAWINGS FOR CLARITY. CIRCUITS MAY BE GROUPED FOR HOMERUNS. NOTE THAT THE APPLICABLE C.E.C. ADJUSTMENT FACTORS MUST BE APPLIED.
- E. THE ELECTRICAL CONTRACTOR SHALL INSTALL SEPARATE NEUTRALS FOR EACH INDIVIDUAL BRANCH CIRCUIT UNLESS NOTED OTHERWISE. COMBINED NEUTRALS MAY ONLY BE USED WITH THE ARCHITECT/ENGINEER'S APPROVAL AND ONLY FOR CIRCUITS ON DIFFERENT PHASES.
- F. WHERE SIZE IS NOT INDICATED ON 120 VOLT CIRCUITS, CONDUCTOR SIZE #12 MINIMUM SHALL BE USED FOR CIRCUITS LESS THAN 100 FEET AND SIZE #10 MINIMUM SHALL BE USED FOR CIRCUITS GREATER THAN 100 FEET. WIRE SIZES SHALL BE DETERMINED BASED UPON INSULATION TYPE, GROUP DERATING FACTORS AND AMBIENT TEMPERATURE FACTORS.
- G. COLOR CODE WIRE AND CABLE FOR CIRCUITS AS CALLED FOR IN THE CALIFORNIA ELECTRICAL CODE, OR AS REQUIRED, AND/OR ADOPTED FOR LOCAL MUNICIPAL REQUIREMENTS.

OUTLET BOXES

- A. ALL OUTLET BOXES UPON WHICH LIGHTING FIXTURES ARE TO BE INSTALLED, SHALL BE EQUIPPED WITH 3/8 INCH FIXTURE STUDS.
- B. ALL BOXES SHALL BE RIGIDLY SUPPORTED FROM BUILDING STRUCTURE INDEPENDENT OF THE CONDUIT SYSTEM. BOXES CAST INTO MASONRY OR CONCRETE ARE CONSIDERED TO BE RIGIDLY SUPPORTED.
- C. FLUSH DEVICE BOXES IN MASONRY WALLS SHALL BE MASONRY BOXES DESIGNED FOR THE PURPOSE, OR 4-INCH SQUARE BOXES WITH RAISED SQUARE COVERS DESIGNED FOR MASONRY. FLUSH BOXES IN OTHER WALLS SHALL HAVE PROPER RAISED COVERS SUITABLE FOR WALL MATERIAL.

WIRING DEVICES

- A. LOCAL LIGHT SWITCHES SHALL BE BACK AND SIDE WIRED, 20 AMPERE, 120/277 VOLTS, AC SPECIFICATION GRADE.
- B. CONVENIENCE OUTLETS FOR 120 VOLT GENERAL USE SHALL BE COMMERCIAL GRADE, DUPLEX 20 AMPERE, 125 VOLT, 3 WIRE BE GROUNDING TYPE. THE TOP SHALL BE OF HIGH IMPACT THERMOPLASTIC SUCH AS NYLON. THE STRAP SHALL BE HEAVY DUTY STEEL THAT WRAPS AROUND THE DEVICE. GROUND CONTACTS SHALL BE BRASS AND RIVETED TO THE STRAP. AUTOMATIC GROUND CLIP SHALL BE PROVIDED.
- C. INDOOR AND OUTDOOR RECEPTACLES, WHERE REQUIRED BY LOCAL CODE, SHALL HAVE INTEGRAL GROUND FAULT PROTECTION OR GROUND FAULT CIRCUIT BREAKER PROTECTION. ADDITIONALLY, ALL 125-VOLT, SINGLE PHASE, 20 AMPERE RECEPTACLES INSTALLED IN KITCHEN AREAS SHALL ALSO BE G.F.C.I. TYPE FOR PROTECTION IN ACCORDANCE WITH C.E.C. ART. #210.8(B).
- D. ALL SWITCH AND CONVENIENCE OUTLET PLATES SHALL BE UNBREAKABLE PLASTIC TO SUIT OUTLETS PROVIDED. TO INSURE UNIFORM COLOR, PLATES AND DEVICES SHALL BE OF ONE MANUFACTURER. PROVIDE STAINLESS STEEL COVERPLATES WITH BEVELED EDGE AND SATIN FINISH IN ALL FOOD SERVICE AREAS AND CADMIUM PLATED ROUND CORNER STEEL COVER PLATES IN UNFINISHED AREAS.
- E. WEATHERPROOF RECEPTACLES SHALL BE HUBBELL #GF5362 DUPLEX OUTLET WITH TAYMAC #20510 SAFETY OUTLET ENCLOSURE (IN COMPLIANCE WITH CEC 406.4 (9)).
- F. PROVIDE RECEPTACLES AND SWITCHES AS INDICATED. COLORS SHALL BE AS NOTED ON DRAWINGS (SELECTED BY ARCHITECT) AND COORDINATED WITH WALL COLOR. VERIFY PRIOR TO PURCHASE ORDER.
- G. MOUNTING HEIGHTS TO CENTER OF BOX UNLESS OTHERWISE INDICATED SHALL BE:
- SWITCHES @ 4'-0"
 - RECEPTACLES @ 18"
 - TELEPHONE/DATA OUTLET BOXES @ 18"
 - WALL TELEPHONE OUTLET BOXES @ 48"
- H. VERIFY MOUNTING HEIGHTS AND LOCATIONS WITH ARCHITECT BEFORE ROUGH-IN. SEE ARCHITECTURAL DETAILS AND ELEVATIONS.
- I. OUTLETS SHALL NOT BE INSTALLED BACK TO BACK.
- J. THE INSIDE COVER OF ALL RECEPTACLE OUTLET PLATES SHALL BE PERMANENTLY MARKED TO INDICATE THE PANEL AND CIRCUIT NUMBER OF THE OUTLET.
- K. ELECTRICAL CONTRACTOR SHALL VERIFY DOOR SWINGS FOR PROPER LOCATION OF SWITCHES PRIOR TO ROUGH-IN.

DISCONNECT SWITCHES

- A. DISCONNECT SWITCHES, NON-FUSED OR FUSED, SINGLE THROW, SHALL BE INSTALLED WHERE INDICATED ON THE DRAWINGS AND/OR WHERE REQUIRED BY CODE. SWITCHES SHALL BE HEAVY DUTY FOR INDOORS OR OUTDOORS AS REQUIRED AND MANUFACTURED BY SQUARE D, GENERAL ELECTRIC, CUTLER-HAMMER, OR SIEMENS.
- B. IF DOUBLE LUGGING OR OVERSIZED WIRES ARE REQUIRED, PROVIDE A WIREWAY OR SPLICE BOX.
- C. SAFETY SWITCHES SHALL BE HEAVY-DUTY NON-FUSED OR FUSED AND SHALL BE INSTALLED WHERE INDICATED ON THE DRAWINGS AND/OR WHERE REQUIRED BY CODE AND SHALL BE SUITABLE FOR VOLTAGE AND CURRENT RATING AS SHOWN ON THE DRAWINGS. ACCEPTABLE MANUFACTURERS SHALL BE SQUARE D, GENERAL ELECTRIC, CUTLER-HAMMER, OR SIEMENS.
- D. THE ELECTRICAL CONTRACTOR SHALL PROVIDE A COMPLETE SET OF FUSES FOR ALL FUSIBLE EQUIPMENT ON THE JOB. UNLESS OTHERWISE INDICATED, ALL FUSES SHALL BE U.L. LISTED, CURRENT-LIMITING AND HAVE AN INTERRUPTING RATING OF 200,000 RMS AMPERES SYMMETRICAL. ALL FUSES RATED 600 AMPERES OR LESS SHALL BE DUAL ELEMENT TIME-DELAY CURRENT-LIMITING U.L. CLASS J (OR RK-1), UNLESS INDICATED OTHERWISE.
- E. MANUAL MOTOR STARTERS SHALL BE WESTINGHOUSE TYPE "MS" WITH PILOT LIGHT OR EQUAL BY I.T.E., CUTLER-HAMMER, SQUARE-D, OR G.E.

GROUNDING

- A. GROUND ALL CONDUITS, CABINETS, MOTORS, PANELS AND OTHER EXPOSED NON-CURRENT CARRYING METAL PARTS OF ELECTRICAL EQUIPMENT IN ACCORDANCE WITH ALL PROVISIONS OF THE CALIFORNIA ELECTRIC CODE AND LOCAL CODES.
- B. SYSTEM NEUTRAL CONDUCTORS SHALL BE GROUNDED AT THE SOURCE, BUT THEY SHALL NOT BE USED FOR EQUIPMENT GROUNDING. GROUND SYSTEM NEUTRALS AT TRANSFORMERS.
- C. GROUND ALL CONDUITS BY MEANS OF GROUNDING BUSHINGS ON TERMINATIONS AT PANELBOARDS WITH AN INSTALLED #12 CONDUCTOR TO GROUNDING BUS.
- D. GROUNDING CONDUCTORS SHALL BE SIZED IN ACCORDANCE WITH C.E.C. 250.122 AND SHALL RUN FROM GROUNDING BUS OF SERVING PANEL TO GROUND BUS OF SERVED PANEL. GROUNDING SCREW OF RECEPTACLES, LIGHTING FIXTURE HOUSINGS, LIGHT SWITCH OUTLET BOXES OR METAL ENCLOSURES OF SERVED EQUIPMENT.
- E. INSTALL BONDING JUMPERS ACROSS ALL BUILDINGS, EXPANSION JOINTS, AND ACROSS CONDUIT EXPANSION FITTINGS.
- F. ALL CONNECTION OF GROUND CONDUCTORS TO GROUND RODS, BUS BARS, STRUCTURAL MEMBERS, PIPES, OR FENCES AND SPLICES OF GROUND CONDUCTORS SHALL BE MADE BY EXOTHERMIC WELDS EXCEPT WHERE OTHERWISE NOTED. ALL CONNECTIONS TO BAR LUGS SHALL BE EXOTHERMIC WELD OR COMPRESSION TYPE. BOLTED TYPE CONNECTION OF GROUND CONDUCTORS MAY ONLY BE MADE WHERE TERMINAL LUGS OR BLOCKS HAVE BEEN FURNISHED AND INSTALLED IN EQUIPMENT BY THE MANUFACTURER.
- G. THE RESISTANCE TO GROUND FOR THE ENTIRE GROUNDING SYSTEM SHALL NOT EXCEED 25 OHMS UNDER NORMAL DRY CONDITIONS.

CIRCUIT BREAKER PANELBOARDS

- A. PANELBOARDS SHALL BE OF THE DEAD FRONT SAFETY TYPE. BUS BARS SHALL HAVE ANTI-TURN SOLDERLESS LUG CONNECTIONS FOR ATTACHING FEEDERS. WHERE TWO OR THREE-POLE BREAKERS ARE REQUIRED, THEY SHALL BE COMMON TRIP. PANELBOARDS SHALL BE SQUARE D, SIEMENS, GENERAL ELECTRIC OR CUTLER-HAMMER.
- B. ALL PANELBOARDS SHALL BE LOCKABLE AND KEYED ALIKE. PANEL BOXES SHALL BE A MINIMUM OF 20 INCHES WIDE.
- C. MULTIPLE SECTION PANELBOARDS SHALL COMPRISE OF MATCHING TUBS, SIZED IDENTICALLY AND ABUTTED TO ONE ANOTHER. COVERS AND TRIMS SHALL BE IDENTICAL AND BE SUITABLE FOR APPLICATION AS INDICATED ON THE DRAWINGS.
- D. ALL BRANCH CIRCUIT PANELBOARDS SHALL BE CIRCUIT BREAKER TYPE WITH PROVISIONS FOR BOLT-ON TYPE CIRCUIT BREAKERS.
- E. CIRCUIT BREAKERS SHALL BE BOLT ON TYPE. SYMMETRICAL SHORT CIRCUIT CAPACITY SHALL MATCH EXISTING.
- F. PROVIDE FULL SIZE (100% RATED) NEUTRAL BUS. PROVIDE SUITABLE LUGS ON NEUTRAL BUS FOR OUTGOING FEEDERS REQUIRING NEUTRAL CONNECTIONS.
- G. PANELS SHALL BE MOUNTED SO THAT TOP OF PANELS ARE AT 6'-0" ABOVE FINISHED FLOOR.
- H. A GLAZED DIRECTORY FRAME SHALL BE PROVIDED INSIDE THE DOOR AND SHALL BE OF SUFFICIENT SIZE TO GIVE DESCRIPTION OF EACH CIRCUIT. TYPED DIRECTORY CARDS SHALL BE PROVIDED LISTING EACH CIRCUIT SERVED.
- I. WHEN WORK IS COMPLETE, BALANCE THE CONTINUOUS LOAD ON EACH PANEL.

LIGHTING

- A. SHALL BE AS SPECIFIED ON THE FIXTURE SCHEDULE.
- B. PROVIDE ALL LUMINAIRES OR LED MODULES REQUIRED. AT THE CONCLUSION OF THE WORK, EACH FIXTURE MUST BE EQUIPPED WITH THE PROPER NUMBER OF NEW LUMINAIRES OR LED MODULES OF THE CORRECT SIZE AND TYPE, ALL IN GOOD OPERATING CONDITION.
- C. ALL FIXTURES SHALL BE SECURELY SUPPORTED WITH APPROVED HANGERS. FIXTURES SHALL BE SUPPORTED FROM STRUCTURAL CEILING OR STRUCTURAL SUPPORTS. NOT SUSPENDED CEILING SUPPORTS. RECTANGULAR OR SQUARE RECESSED FIXTURES MUST BE SUPPORTED AT THE FOUR CORNERS AND SECURED TO SUSPENDED CEILING SUPPORTS IN ACCORDANCE WITH THE C.E.C. SURFACE MOUNTED FIXTURES MUST HAVE ADDITIONAL CEILING SUPPORT AS ACCEPTABLE BY THE ARCHITECT.
- D. THIS CONTRACTOR SHALL INSURE THAT SIMILAR LUMINAIRES OR LED MODULES TYPES ARE OF THE SAME MANUFACTURER AND COLOR TEMPERATURE AND THAT FIXTURES AND LUMINAIRES OR LED MODULES ARE COMPATIBLE.
- E. ALL LAMPS SHALL BE OPERATIONAL AT TIME OF OCCUPANCY.
- F. COORDINATE EXIT SIGN MOUNTING LOCATIONS WITH DOOR ARRANGEMENTS. CONNECT EXIT SIGNAGE AND EGRESS LIGHTING TO LOCAL UNSWITCHED POWER SOURCE PER CODE. CONNECT FIXTURES DESIGNATED AS NIGHT LIGHTS TO UNSWITCHED CIRCUIT(S) TO OPERATE CONTINUOUSLY.
- G. INSURE THAT ALL WALL-MOUNTED LIGHT FIXTURES ARE CODE COMPLIANT AND INSTALLED IN CONFORMANCE WITH ADA REQUIREMENTS.

COMMUNICATION (TELEPHONE/DATA) SYSTEMS

- A. ELECTRICAL CONTRACTOR TO PROVIDE TELEPHONE SERVICE CONDUIT OR DUCT TO TELEPHONE BOARD AS SHOWN ON PLANS. SERVICE CONDUIT SIZE AND QUANTITY SHALL BE AS DETERMINED BY LOCAL TELEPHONE AND TELEVISION COMPANY.
- B. THE CONTRACTOR SHALL PROVIDE TELEPHONE-DATA/TELEVISION OUTLET BOXES, AND MISCELLANEOUS FITTINGS AND MATERIALS. OWNER'S SYSTEM SUPPLIER SHALL FURNISH TELEPHONE-DATA/TELEVISION EQUIPMENT, TERMINALS, JACKS, COVERPLATES, CABLING, CABLE TERMINATIONS AND THE ASSOCIATED LABOR.
- C. PROVIDE FIRE-RETARDANT TREATED, PAINTED WHITE PLYWOOD TERMINAL BOARD AT LOCATIONS SHOWN ON DRAWINGS.
- D. COMBINATION TELEPHONE/DATA OUTLET BOXES SHALL BE SINGLE OR DOUBLE GANG WITH PLASTER RING. TELEPHONE ONLY, TELEVISION, DATA, FAX, ETC. OUTLETS SHALL BE SIMILAR. THE BLANK COVERPLATE SHALL BE PROVIDED FOR ALL UNUSED OUTLETS.

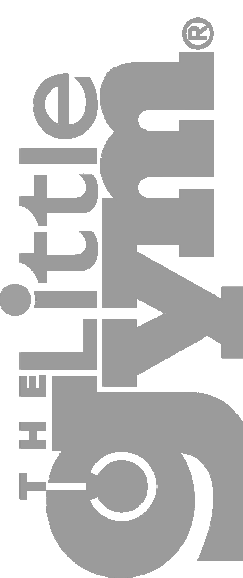
CONSULTANT:

Aaron M. Fiegel
P.E.
teamchoice.com

SUITE 3842 479-638-5004
1805 N 2ND ST JOB NO.: 33806
ROGERS, AR 72756 DESIGNED BY KNY/ITRM



SEAL:



THE LITTLE GYM IRVINE
3992D BARRANCA PARKWAY
IRVINE, CA 92606

SHEET TITLE:
ELECTRICAL
SPECIFICATIONS

05/09/2025

REVISIONS:

No.	Description	Date

JOB No.: 33806

DRAWN BY: KNY/AMF

E002

STATE OF CALIFORNIA

Indoor Lighting

CALIFORNIA ENERGY COMMISSION

CERTIFICATE OF COMPLIANCE

NRCC-LTI-E

This document is used to demonstrate compliance with requirements in 110.9, 110.12(c), 130.0, 130.1, 140.6 and 141.0(b)(2) for indoor lighting scopes using the prescriptive path for nonresidential and hotel/motel occupancies. It is also used to document compliance with requirements in 160.5, 170.2(e) and 180.2(b)(4) for indoor lighting scopes using the prescriptive path for multifamily occupancies. Multifamily includes dormitory and senior living facilities.

Project Name: The Little Gym

Report Page: (Page 1 of 8)

Project Address: 3992D Barranca Parkway, Irvine, CA 92606

Date Prepared: 2025-05-09T09:01:10-04:00

A. GENERAL INFORMATION				
01 Project Location (city)	Irvine	04 Total Conditioned Floor Area (ft ²)	2,682	
02 Climate Zone	8	05 Total Unconditioned Floor Area (ft ²)	0	
03 Occupancy Types Within Project (select all that apply):		06 # of Stories (Habitable Above Grade)	0	
● Gymnasium				

B. PROJECT SCOPE				
This table includes any lighting systems that are within the scope of the permit application and are demonstrating compliance using the prescriptive path outlined in 140.6 / 170.2(e) or 141.0(b)(2) / 180.2(b)(4) for alterations.				
Scope of Work		Conditioned Spaces		Unconditioned Spaces
01		02	03	04
My Project Consists of (check all that apply):		Calculation Method	Area (ft ²)	Calculation Method
■ New Lighting System		N/A	0	N/A
■ New Lighting System - Parking Garage		N/A	0	N/A
■ Altered Lighting System		Complete Building Method	2682	N/A
Total Area of Work (ft ²)		2682		0

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CA Building Energy Efficiency Standards - 2022 Nonresidential Compliance

Report Version: 2022.0.000

Compliance ID: 294041-0525-0004

Schema Version: rev 20220101

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STATE OF CALIFORNIA

Indoor Lighting

CALIFORNIA ENERGY COMMISSION

CERTIFICATE OF COMPLIANCE

NRCC-LTI-E

Project Name: The Little Gym

Report Page: (Page 2 of 8)

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C. COMPLIANCE RESULTS											
If any cell on this table says "DOES NOT COMPLY" or "COMPLIES with Exceptional Conditions" refer to Table D. for guidance.											
Lighting in conditioned and unconditioned spaces must not be combined for compliance per 140.6(b)(1) / 170.2(e)	Allowed Lighting Power per 140.6(b) / 170.2(e) (Watts)					Adjusted Lighting Power per 140.6(a) / 170.2(e) (Watts)				Compliance Results	
	01	02	03	04	05	06	07	08	09		
							Adjustments				
	Complete Building 140.6(c)(1)	Area Category 140.6(c)(2) / 170.2(e)(4)	Area Category Additional 140.6(c)(3) / 170.2(e)(4)(+)	Tailored 140.6(c)(3) / 170.2(e)(4)(+)	Total Allowed (Watts)	Total Designed (Watts)	PAF Lighting Control Credits 140.6(a)(2) / 170.2(e)(1)(-)	Total Adjusted (Watts) Includes Adjustments			
	(See Table I)	(See Table I)	(See Table J)	(See Table K)	=	1,570.21	(See Table F)	(See Table P)	=	1224	
Conditioned	1,570.21				=	1,570.21	=	1,224			05 must be >= 08 140.6(b) / 170.2(e)
Unconditioned					=						
Controls Compliance (See Table H for Details)										COMPLIES	
Rated Power Reduction Compliance (See Table Q for Details)											

D. EXCEPTIONAL CONDITIONS

This table is auto-filled with uneditable comments because of selections made or data entered in tables throughout the form.

E. ADDITIONAL REMARKS

This table includes remarks made by the permit applicant to the Authority Having Jurisdiction.

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CA Building Energy Efficiency Standards - 2022 Nonresidential Compliance

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STATE OF CALIFORNIA

Indoor Lighting

CALIFORNIA ENERGY COMMISSION

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NRCC-LTI-E

Project Name: The Little Gym

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F. INDOOR LIGHTING FIXTURE SCHEDULE									
This table includes all planned permanent and portable lighting other than dwelling unit/ hotel/ motel room lighting. Multifamily dwelling unit and hotel/motel room lighting is documented in Table I. If using Table I to document lighting in multifamily common use areas providing shared provisions for living, eating, cooking or sanitation, those luminaires are not included here.									
Designed Wattage: Conditioned Spaces									
01	02	03	04	05	06	07	08	09	10
Name or Item Tag	Complete Luminaire Description	Modular (Track) Fixture	Small Aperture & Color Change ¹	Watts per luminaire ²	How is Wattage determined	Total Number of Luminaires	Excluded per 140.6(a)(3) / 170.2(e)(2)(C)	Design Watts	Field Inspector
A	2X4 RECESSED LIGHT	No	NA	32	Mfr. Spec	34	No	1,088	Pass
D	DOWNLIGHT	No	NA	34	Mfr. Spec	4	No	136	Fail
Total Designed Watts: CONDITIONED SPACES							1,224		

¹FOOTNOTE: Design Watts for small aperture and color changing luminaires which qualify per 140.6(a)(4) / 170.2(e)(2)(D) is adjusted to be 75%/80% of their rated wattage. Table F automatically makes this adjustment, the permit applicant should enter full rated wattage in column 05.
²Authority Having Jurisdiction may ask for Luminaire cut sheets to confirm wattage used for compliance per 130.0(c) / 160.5(b). Wattage used must be the maximum rated for the luminaire, not the lamp.

G. MODULAR LIGHTING SYSTEMS

This section does not apply to this project.

H. INDOOR LIGHTING CONTROLS (Not including PAFs)			
This table includes lighting controls for conditioned and unconditioned spaces.			
Building Level Controls		01	02
		Mandatory Demand Response 110.12(c)	Shut-off controls 130.1(c) / 160.5(b)(4C)
		NA < 4,000W subject to multilevel	Whole Building Auto Time Switch

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NRCC-LTI-E

Project Name: The Little Gym

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H. INDOOR LIGHTING CONTROLS (Not including PAFs)											
Area Level Controls											
04	05	06	07	08	09	10	11	12			
Area Description	Complete Building or Area Category Primary Function Area	Manual Area Controls 130.1(a) 160.5(b)(4A)	Multi-Level Controls 130.1(b) 160.5(b)(4B)	Shut-Off Controls 130.1(c) 160.5(b)(4C)	Primary/Secondary Daylighting 130.1(d) 160.5(b)(4D)	Secondary Daylighting 140.6(a)(1) 170.2(e)(2A)	Interlocked Systems	Field Inspector			
					NA: General Ltg < 120W	NA: General Ltg < 120W		Pass	Fail		
MPR	Gymnasium	Readily Accessible	Dimmer	Occupancy Sensor	NA: General Ltg < 120W	NA: General Ltg < 120W	No	<input type="checkbox"/>	<input type="checkbox"/>		
LOBBY	Gymnasium	Readily Accessible	Dimmer	Auto. Time Switch	NA: General Ltg < 120W	NA: General Ltg < 120W	No	<input type="checkbox"/>	<input type="checkbox"/>		
GYM	Gymnasium	Readily Accessible	Dimmer	Auto. Time Switch	NA: General Ltg < 120W	NA: General Ltg < 120W	No	<input type="checkbox"/>	<input type="checkbox"/>		
UNISEX RESTROOM 104	Gymnasium	Readily Accessible	NA: Restrooms	Occupancy Sensor	NA: General Ltg < 120W	NA: General Ltg < 120W	No	<input type="checkbox"/>	<input type="checkbox"/>		
UNISEX RESTROOM 105	Gymnasium	Readily Accessible	NA: Restrooms	Occupancy Sensor	NA: General Ltg < 120W	NA: General Ltg < 120W	No	<input type="checkbox"/>	<input type="checkbox"/>		
UNISEX RESTROOM 107	Gymnasium	Readily Accessible	NA: Restrooms	Occupancy Sensor	NA: General Ltg < 120W	NA: General Ltg < 120W	No	<input type="checkbox"/>	<input type="checkbox"/>		
JANITOR	Gymnasium	Readily Accessible	NA: Enclosed area <100SF	Occupancy Sensor	NA: General Ltg < 120W	NA: General Ltg < 120W	No	<input type="checkbox"/>	<input type="checkbox"/>		
							13				
Plan Sheet Showing Daylit Zones:											

I. LIGHTING POWER ALLOWANCE: COMPLETE BUILDING OR AREA CATEGORY METHODS

Each area complying using the Complete Building or Area Category Methods per 140.6(b) are included in this table. Column 06 indicates if additional lighting power allowances per 140.6(c) or adjustments per 140.6(a) are being used.

Conditioned Spaces

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STATE OF CALIFORNIA

Indoor Lighting

CALIFORNIA ENERGY COMMISSION

CERTIFICATE OF COMPLIANCE

NRCC-LTI-E

Project Name: The Little Gym

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Date Prepared: 2025-05-09T09:01:10-04:00

I. LIGHTING POWER ALLOWANCE: COMPLETE BUILDING OR AREA CATEGORY METHODS					
01	02	03	04	05	06
Area Description	Complete Building or Area Category Primary Function Area	Allowed Density (W/ft ²)	Area (ft ²)	Allowed Wattage (Watts)	Additional Allowance / Adjustment Area Category PAF
MFR	Gymnasium	0.6	325.81	195.49	No
LOBBY	Gymnasium	0.6	340	204	No
GYM	Gymnasium	0.6	1,719	1,031.4	No
UNISEX RESTROOM 104	Gymnasium	0.6	87.8	52.68	No
UNISEX RESTROOM 105	Gymnasium	0.6	86.4	51.84	No
UNISEX RESTROOM 107	Gymnasium	0.6	58	34.8	No
TOTALS:		2,617.01	1,570.21	See Tables I, or P for detail	

J. ADDITIONAL ALLOWANCE: AREA CATEGORY METHOD QUALIFYING LIGHTING SYSTEM

This section does not apply to this project.

K. TAILORED METHOD GENERAL LIGHTING POWER ALLOWANCE

This section does not apply to this project.

L. ADDITIONAL LIGHTING ALLOWANCE: TAILORED WALL DISPLAY

This section does not apply to this project.

M. ADDITIONAL LIGHTING ALLOWANCE: TAILORED FLOOR AND TASK LIGHTING

This section does not apply to this project.

N. ADDITIONAL LIGHTING ALLOWANCE: TAILORED DECORATIVE / SPECIAL EFFECTS

This section does not apply to this project.

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STATE OF CALIFORNIA

Indoor Lighting

CALIFORNIA ENERGY COMMISSION

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NRCC-LTI-E

Project Name: The Little Gym

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O. ADDITIONAL LIGHTING ALLOWANCE: TAILORED VERY VALUABLE MERCHANDISE

This section does not apply to this project.

P. POWER ADJUSTMENT: LIGHTING CONTROL CREDIT (POWER ADJUSTMENT FACTOR (PAF))

This section does not apply to this project.

Q. RATED POWER REDUCTION COMPLIANCE FOR ONE-FOR-ONE ALTERATIONS

This section does not apply to this project.

R. 80% LIGHTING POWER FOR ALL ALTERATIONS - CONTROLS EXCEPTIONS

This section does not apply to this project.

S. DAYLIGHT DESIGN POWER ADJUSTMENT FACTOR (PAF)

This section does not apply to this project.

T. DWELLING UNIT LIGHTING

This section does not apply to this project.

U. DECLARATION OF REQUIRED CERTIFICATES OF INSTALLATION

Selections have been made based on information provided in this document. If any selections have been changed by permit applicant, an explanation should be included in Table E. Additional Remarks. These documents must be provided to the building inspector during construction and can be found online

Form/Title

NRCC-LTI-E - Must be submitted for all buildings

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CA Building Energy Efficiency Standards - 2022 Nonresidential Compliance

Report Version: 2022.0.000

Compliance ID: 294041-0525-0004

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STATE OF CALIFORNIA

Indoor Lighting

CALIFORNIA ENERGY COMMISSION

CERTIFICATE OF COMPLIANCE

NRCC-LTI-E

Project Name: The Little Gym

Report Page: (Page 7 of 8)

Date Prepared: 2025-05-09T09:01:10-04:00

V. DECLARATION OF REQUIRED CERTIFICATES OF ACCEPTANCE

Selections have been made based on information provided in this document. If any selections have been changed by the permit applicant, an explanation should be included in Table E. Additional Remarks. These documents must be provided to the building inspector during construction and any with "A" in the form name must be completed through an Acceptance Test Technician Certification Provider (ATTCP). For more information visit: <http://www.energy.ca.gov/ttc24/ttc24providers.html>

Form/Title

Systems/Spaces To Be Field Verified

NRCC-LTI-02-A - Must be submitted for occupancy sensors and automatic time switch controls.

MFR; LOBBY; GYM; UNISEX RESTROOM 104; UNISEX RESTROOM 105; UNISEX RESTROOM 107; JANITOR

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CA Building Energy Efficiency Standards - 2022 Nonresidential Compliance

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Indoor Lighting

CALIFORNIA ENERGY COMMISSION

CERTIFICATE OF COMPLIANCE

NRCC-LTI-E

Project Name: The Little Gym

Report Page: (Page 8 of 8)

Date Prepared: 2025-05-09T09:01:10-04:00

DOCUMENTATION AUTHORITY'S DECLARATION STATEMENT

I certify that this Certificate of Compliance documentation is accurate and complete.

Documentation Author Name: Kevane Nyako

Documentation Author Signature: [Signature]

Signature Date: 05/09/2025

Signature Title: ECA PEXS Certification Identification (if applicable):

Phone: 213-329-4757

RESPONSIBLE PERSON'S DECLARATION STATEMENT

I verify the following under penalty of perjury, under the law of the State of California:

1. The information provided on this Certificate of Compliance is true and correct.

2. I am eligible under Division 5 of the Business and Professions Code to accept responsibility for the building design or system design identified on this Certificate of Compliance (responsible designer).

3. The energy features and performance specifications, materials, components, and manufactured devices for the building design or system design identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations.

4. The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application.

5. I will ensure that a completed signed copy of this Certificate of Compliance shall be made available with the building permit(s) issued for the building, and made available to the enforcement agency for all applicable inspections. I understand that a completed signed copy of this Certificate of Compliance is required to be included with the documentation the builder provides to the building owner at occupancy.

Responsible Designer Name: Aaron M. Fiegel, P.E.

Responsible Designer Signature: [Signature]

Signature Date: 05/09/2025

Signature Title: REF TITLEBLOCK SEAL

Company: Benchmark Group

Address: 1805 North Lamar Street, Suite 100

City/State/Zip: Dallas, TX 75202

Phone: 479-636-5006

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Indoor Lighting Mandatory Measures:

130.10) CONTROL INTERACTIONS

EACH LIGHTING CONTROL, INSTALLED TO MEET 130.1 REQUIREMENTS SHALL INCORPORATE THE FUNCTIONS OF OTHER LIGHTING CONTROLS REQUIRED BY THIS SECTION.

1. FOR GENERAL LIGHTING, MANUAL AREA CONTROL SHALL PERMIT THE LEVEL OF LIGHT PROVIDED WHILE LIGHTING IS ON TO BE SET OR ADJUSTED BY CONTROLS SPECIFIED IN 130.1(b), (c), (d) and (e).

2. MANUAL AREA CONTROL SHALL PERMIT SHUTOFF CONTROL TO TURN THE LIGHTING DOWN OR OFF.

3. MULTILEVEL CONTROL SHALL PERMIT THE AUTOMATIC DAYLIGHTING CONTROL TO ADJUST ELECTRIC LIGHTING IN RESPONSE TO DAYLIGHT.

4. MULTILEVEL CONTROL SHALL PERMIT THE DEMAND RESPONSIVE (DR) CONTROL TO ADJUST LIGHTING DURING A DR EVENT THEN RETURN IT TO THE LEVEL SET BY THE CONTROL AFTER THE EVENT.

5. SHUTOFF CONTROL SHALL PERMIT THE MANUAL AREA CONTROL TO TURN THE LIGHTING ON.

6. AUTOMATIC DAYLIGHTING CONTROL SHALL PERMIT MULTILEVEL LIGHTING CONTROL TO ADJUST THE LIGHTING LEVEL.

7. FOR LIGHTING CONTROLLED BY MULTILEVEL LIGHTING CONTROLS AND OCCUPANT SENSING CONTROLS THAT PROVIDE AUTOMATIC-ON FUNCTION, CONTROLS SHALL PROVIDE A PARTIAL-ON FUNCTION THAT IS CAPABLE OF AUTOMATICALLY ACTIVATING BETWEEN 50-70% OF CONTROLLED LIGHTING POWER.

8. RESERVED

9. FOR SPACE CONDITIONING SYSTEM ZONES SERVING ONLY SPACES THAT ARE REQUIRED TO HAVE OCCUPANT SENSING CONTROLS SHALL BE CONTROLLED BY OCCUPANCY SENSING CONTROLS.

CONSULTANT:

Aaron M. Fiegel
P.E.
teanof@choice.com

SUITE 3842 475-636-5004
1805 N 2ND ST JOB NO. 33806
ROGERS, AR 72756 DESIGNED BY KNY / TRM



SEAL:



SHEET TITLE:
ENERGY
COMPLIANCE FORMS

05/09/2025

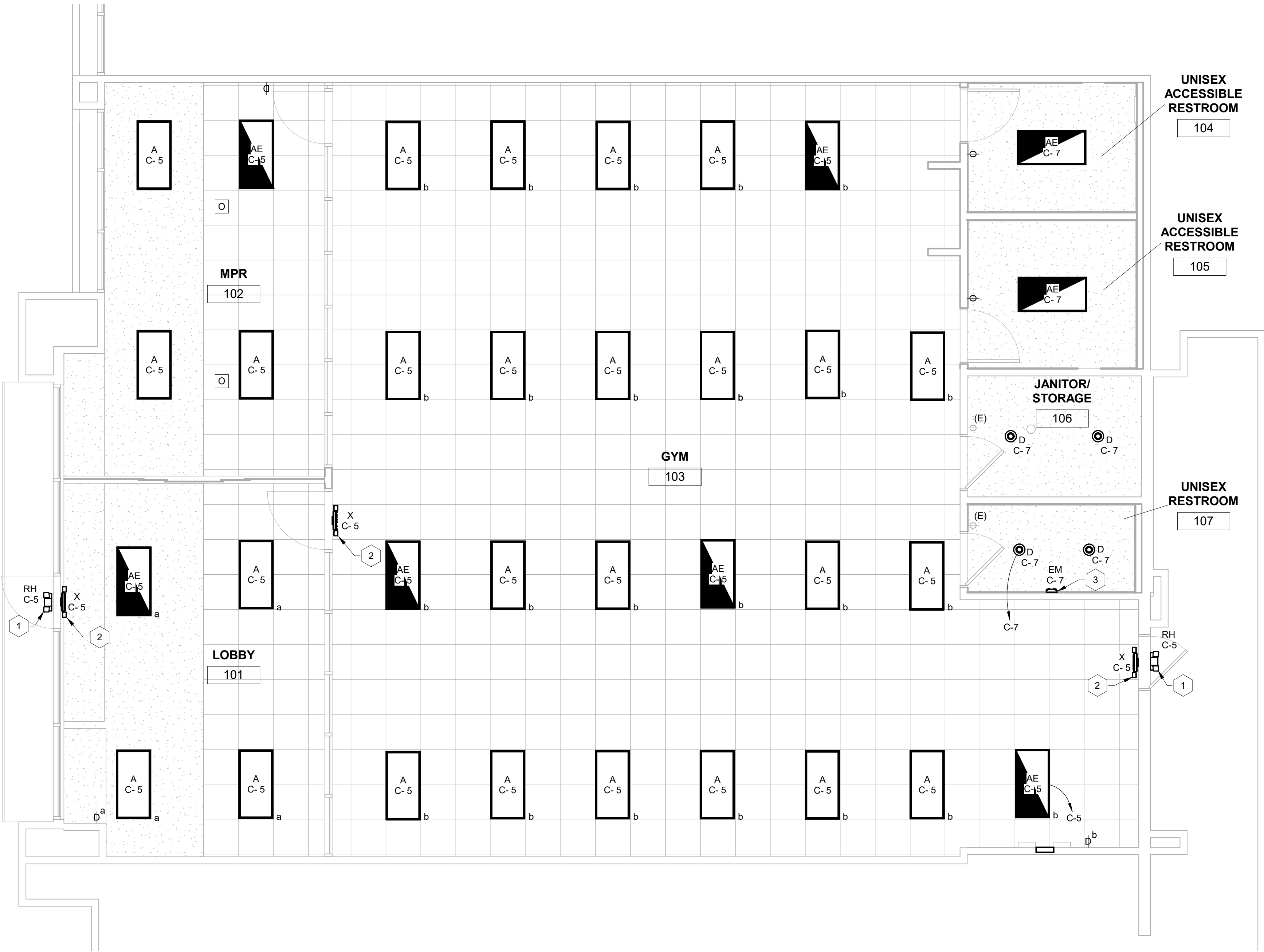
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No.	Description	Date

JOB No.: 33806

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E003



1
E101
ELECTRICAL LIGHTING PLAN
1/4" = 1'-0"

LIGHTING KEYNOTES		
1	CONTRACTOR TO CONFIRM THAT THERE IS SUFFICIENT EXTERIOR EMERGENCY EGRESS LIGHTING TO SERVE THIS AREA. IF NOT, PROVIDE REMOTE HEAD AS SHOWN.	
2	MOUNT EXIT/EMERGENCY LIGHT 6" ABOVE DOOR FRAME. CONNECT TO UNSWITCHED PORTION OF ADJACENT CIRCUIT IN THIS AREA.	
3	MOUNT EMERGENCY LIGHT 12" BELOW FINISHED CEILING AND CONNECT TO UNSWITCHED PORTION OF ADJACENT CIRCUIT.	

CONSULTANT:

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P.E.
SUITE 3842 479-636-5004
1805 N 2ND ST JOB NO. 33806
ROGERS, AR 72756 DESIGNED BY KNY / TRM



SEAL:

THE Little Gym®
THE LITTLE GYM IRVINE
3992D BARRANCA PARKWAY
IRVINE, CA 92606

SHEET TITLE:
ELECTRICAL
LIGHTING PLAN

05/09/2025

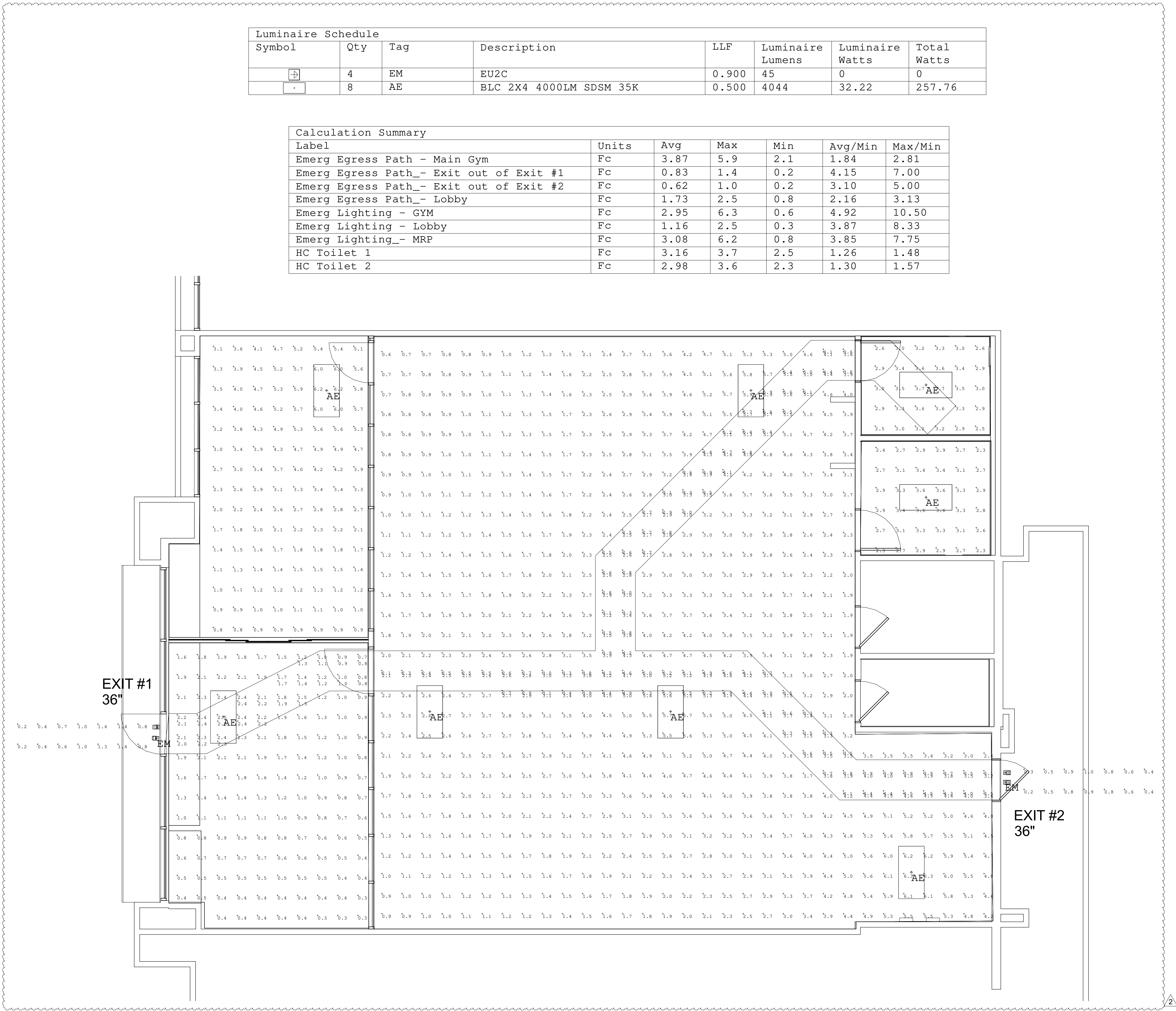
REVISIONS:

No.	Description	Date
1	City Comments Rev. 1	06/26/2025
2	City Comments Rev. 2	07/25/2025

JOB No.: 33806

DRAWN BY: KNY/TRM

E101



1
E102
ELECTRICAL PHOTOMETRICS PLAN
1/4" = 1'-0"

CONSULTANT:

Aaron M. Fiegel
P.E.
teamofthree.com

SUITE 3842 479-635-5004
1805 N 2ND ST JOB NO. 33806
ROGERS, AR 72756 DESIGNED BY:KNT/ITRM



SEAL:

THE LITTLE GYM®
THE LITTLE GYM IRVINE
3992D BARRANCA PARKWAY
IRVINE, CA 92606

SHEET TITLE:
ELECTRICAL
PHOTOMETRICS
PLAN

05/09/2025

REVISIONS:

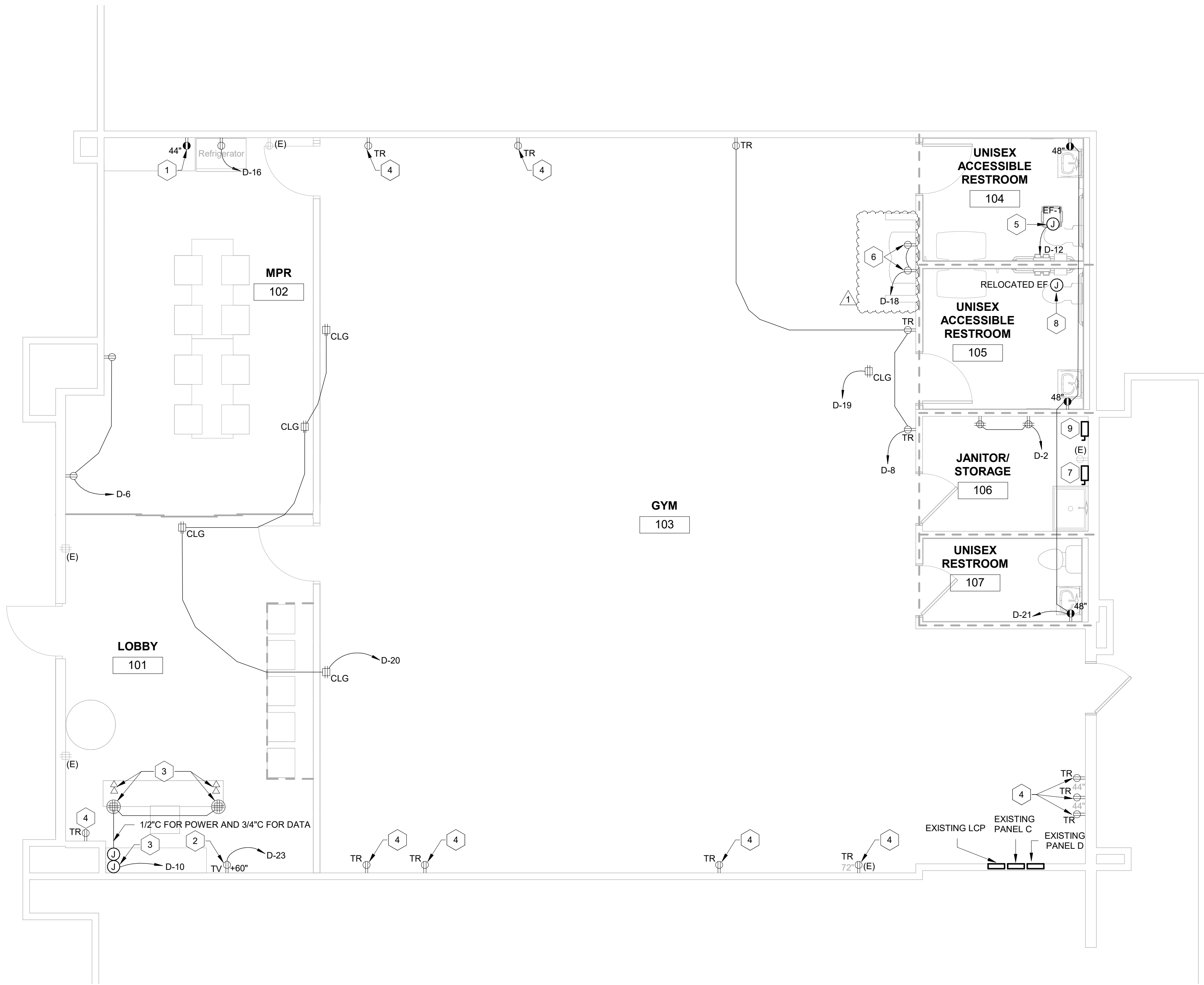
No.	Description	Date
1	City Comments Rev. 1	06/26/2025
2	City Comments Rev. 2	07/25/2025

JOB No.: 33806

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E102

6/25/2025 11:17:41 AM



ELECTRICAL POWER PLAN
1/4" = 1'-0"

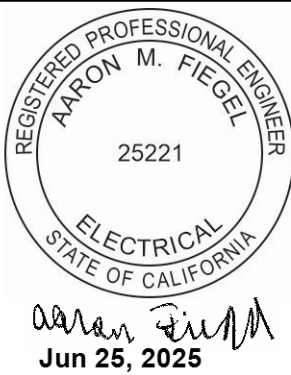
POWER KEYNOTES

- 1 DEMOLISH EXISTING RECEPTACLE SERVING LOCATION AND PROVIDE NEW GFCI RECEPTACLE. EXTEND EXISTING POWER AND CONDUIT TO NEW LOCATION AS SHOWN.
- 2 PROVIDE A PLASTER RING AND PULL STRING WITH I.D. TAG UP TO ABOVE FINISHED CEILING FOR WALL MOUNTED TELEVISION OUTLETS. PROVIDE RECESSED OUTLETS FOR TV POWER, A.V, DATA COMMUNICATIONS. COORDINATE EXACT MODEL, MOUNTING HEIGHTS AND LOCATION WITH ARCHITECT PRIOR TO ROUGH-IN. ADDITIONALLY PROVIDE PLASTER RING AND PULL STRING TO ABOVE CEILING AT FRONT DESK.
- 3 PROVIDE POWER AND DATA FROM WALL TO DEVICE AT DESK. COORDINATE EXACT ROUTING AND REQUIREMENTS WITH ARCHITECT.
- 4 REPLACE EXISTING DUPLEX RECEPTACLE WITH TAMPER RESISTANT RECEPTACLES PER CEC 406.12(4).
- 5 COORDINATE EXACT LOCATION AND POWER REQUIREMENTS FOR RESTROOM EXHAUST FAN WITH MECHANICAL CONTRACTOR. INTERLOCK WITH RESTROOM LIGHTING CONTROLS.
- 6 COORDINATE EXACT POWER REQUIREMENTS FOR THE WATER BOTTLE FILLER WITH MANUFACTURER DRAWINGS. COORDINATE EXACT LOCATION WITH ARCHITECT.
- 7 RELOCATED WATER HEATER DISCONNECT. EXTEND EXISTING POWER AND CONDUIT TO NEW LOCATION SHOWN. COORDINATE EXACT LOCATION WITH PLUMBING CONTRACTOR.
- 8 RELOCATED EXHAUST FAN. EXTEND EXISTING POWER AND CONDUIT TO NEW LOCATION SHOWN. COORDINATE EXACT LOCATION WITH MECHANICAL CONTRACTOR. INTERLOCK WITH RESTROOM LIGHTING CONTROLS.
- 9 RELOCATED MCU DISCONNECT. EXTEND EXISTING POWER AND CONDUIT TO NEW LOCATION SHOWN.

CONSULTANT:

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P.E.
teamofthree.com

SUITE 3842 475-636-5004
1805 N 2ND ST JOB NO. 33806
ROGERS, AR 72756 DESIGNED BY KNY / TRM



SEAL:

THE Little Gym
THE LITTLE GYM IRVINE
3992D BARRANCA PARKWAY
IRVINE, CA 92606

SHEET TITLE:
ELECTRICAL POWER PLAN

05/09/2025

REVISIONS:

No.	Description	Date
1	AHJ COMMENTS	06/25/2025

JOB No.: 33806

DRAWN BY: KNY/TRM

E111

PANELBOARD NOTES:

- CONNECT TO EXISTING LIGHTING CONTROL PANEL.
- EXISTING BREAKER AND LOAD TO REMAIN.
- CONTRACTOR TO CONFIRM THAT EXISTING CIRCUIT IS NOT A CRITICAL LOAD. IF NOT, DEMOLISH EXISTING CIRCUITRY, TURN OFF BREAKER AND CLEARLY MARK AS SPARE.
- PROVIDE NEW GFCI BREAKER
- REUSE EXISTING BREAKER FOR NEW LOAD.
- ELECTRICAL CONTRACTOR TO CONFIRM CIRCUIT INFORMATION.

PANEL: C

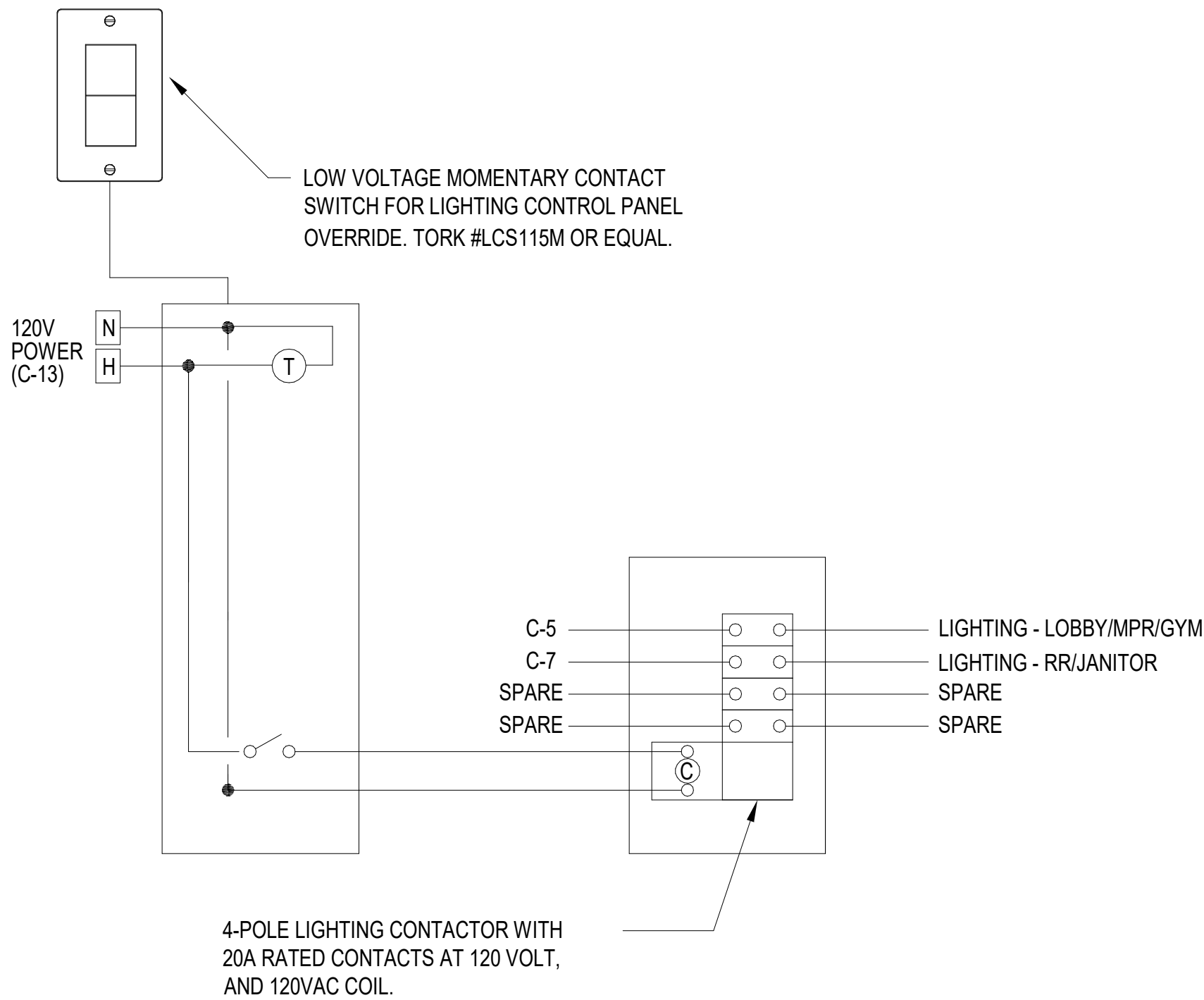
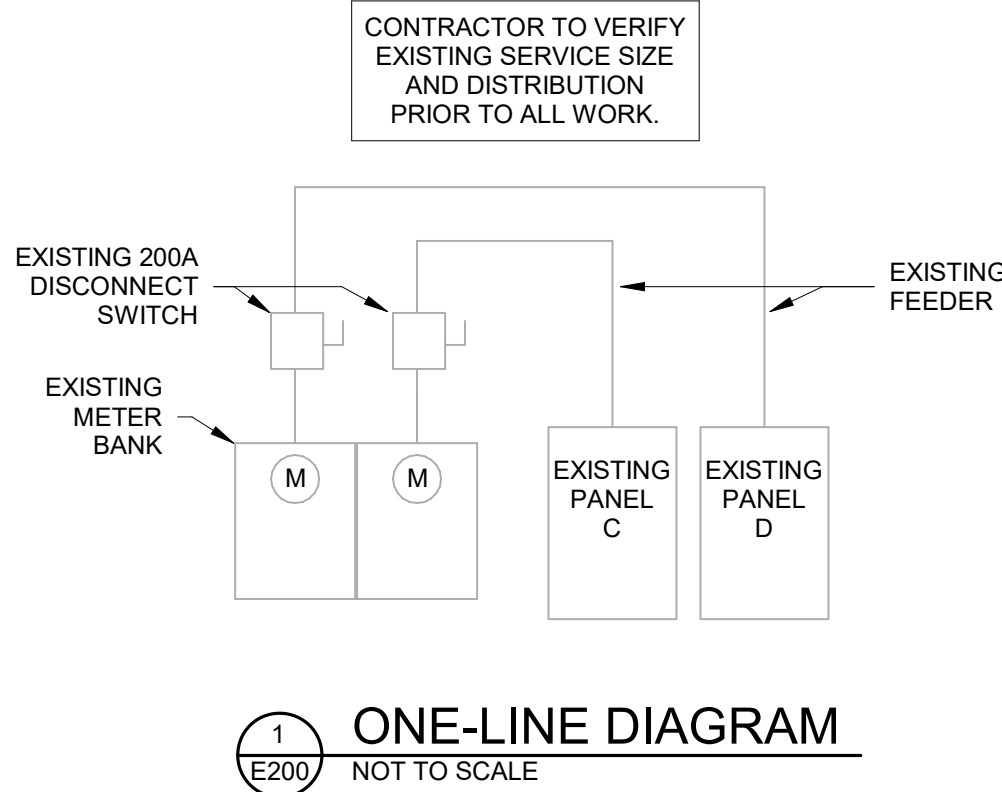
EXISTING PANELBOARD

EXISTING PANELBOARD																
VOLTAGE: 120/208 Wye																
PHASES: 3																
MAINS: M.L.O.																
WIRES: 4																
AMPERAGE: 250 A																
MOUNTING: FLUSH																
MCB RATING:																
ENCLOSURE: NEMA 1																
AIC RATING: EXISTING																
CKT	DESCRIPTION	RATING	POLES	NOTES	CKT AMPS	LOAD TYPE	A	B	C	LOAD TYPE	CKT AMPS	NOTES	POLES	RATING	DESCRIPTION	CKT
1	window recept	20 A	1	2	1.5	G	0.2 kVA	9.0 kVA								2
3	signage	20 A	1	2	10.0	A		1.2 kVA	9.0 kVA	G	74.9	2	3	100 A	mcu	4
5	LIGHTING - LOBBY/MPR/GYM	20 A	1	1.5	8.6	A			1.0 kVA	9.0 kVA						6
7	LIGHTING - RR / JANITOR	20 A	1	1.5	1.7	A	0.2 kVA	1.7 kVA								8
9	SPARE	30 A	2	3	--	--		0.0 kVA	1.7 kVA							10
11									0.0 kVA	0.2 kVA	G	1.5	2	1	20 A	duct detector
13	lighting control panel	20 A	1	6	--	--	0.0 kVA	--		--	--		1	--	space	14
15	SPARE	30 A	2	3	--	--		0.0 kVA	--	--	--		1	--	space	16
17									0.0 kVA	--	--	--		1	--	space
19	space	--	1		--	--	--	--		--	--		1	--	space	20
21	space	--	1		--	--		--	--	--	--		1	--	space	22
23	space	--	1		--	--			--	--	--		1	--	space	24
25	space	--	1		--	--	--	--		--	--		1	--	space	26
27	space	--	1		--	--		--	--	--	--		1	--	space	28
29	space	--	1		--	--			--	--	--		1	--	space	30
31	space	--	1		--	--	--	--		--	--		1	--	space	32
33	space	--	1		--	--		--	--	--	--		1	--	space	34
35	space	--	1		--	--			--	--	--		1	--	space	36
37	space	--	1		--	--	--	--		--	--		1	--	space	38
39	space	--	1		--	--		--	--	--	--		1	--	space	40
41	space	--	1		--	--			--	--	--		1	--	space	42
KVA							11.0 kVA	11.9 kVA	10.2 kVA							
AMPS							93 A	100 A	85 A							
TYPE	DESCRIPTION	CONNECTED LOAD		DEMAND FACTOR		ESTIMATED DEMAND				PANEL TOTALS						
A	INTERIOR LIGHTING	2.4 kVA		125%		3.0 kVA										
B	EXTERIOR LIGHTING	0.0 kVA		0%		0.0 kVA				TOTAL CONNECTED KVA: 33.1 kVA						
C	COMFORT COOLING	0.0 kVA		0% + 25% LARGEST MOTOR		0.0 kVA				TOTAL CONNECTED AMPS: 92 A						
D	COMFORT HEATING	0.0 kVA		0%		0.0 kVA				TOTAL ESTIMATED KVA: 23.4 kVA						
E	MISCELLANEOUS MOTOR	0.0 kVA		0%		0.0 kVA				TOTAL ESTIMATED AMPS: 65 A						
F	KITCHEN EQUIPMENT	0.0 kVA		0%		0.0 kVA										
G	RECEPTACLES	30.7 kVA		66%		20.3 kVA										

PANEL: D

EXISTING PANELBOARD

EXISTING PANELBOARD																						
VOLTAGE: 120/208 Wye																						
PHASES: 3																						
WIRES: 4																						
MOUNTING: FLUSH																						
ENCLOSURE: NEMA 1																						
MAINS: M.L.O.																						
AMPERAGE: 250 A																						
MCB RATING:																						
AIC RATING: EXISTING																						
CKT	DESCRIPTION	RATING	POLES	NOTES	CKT AMPS	LOAD TYPE	A	B	C	LOAD TYPE	CKT AMPS	NOTES	POLES	RATING	DESCRIPTION	CKT						
1	rtu-1	50 A	3	2	40.0	C	4.8 kVA	0.4 kVA		G	3.0	5	1	20 A	JANITOR/STORAGE RECEPCTS	2						
																			receptacle circuit	4		
5																				MPR RECEPTACLES	6	
7																				GYM AREA RECEPTACLES	8	
9	rtu-2	45 A	3	2	36.0	C	4.3 kVA	0.5 kVA		G	4.5	5	1	20 A	FRONT DESK RECEPTACLES	10						
																			EF-1	12		
11																				receptacle circuit	14	
13																				REFRIGERATOR	16	
15	rtu-3	30 A	3	2	24.0	C		2.9 kVA	1.8 kVA	F	15.0	4	1	20 A	BOTTLE FILLING STATION	18						
17																						
19	GYM AREA CEILING RECEPTACLES	20 A	1		1.5	G	0.2 kVA	0.7 kVA		G	6.0	5	1	20 A	CEILING RECEPTACLES	20						
21	RESTROOM RECEPTACLES	20 A	1		4.5	G		0.5 kVA	0.5 kVA	G	4.5	2	1	20 A	receptacle circuit	22						
23	TV RECEPTACLE	20 A	1		1.5	G			0.2 kVA	0.2 kVA	G	1.5	2	1	20 A	receptacle circuit	24					
25	space	--	1		--	--		0.4 kVA		G	3.0	2	1	20 A	receptacle circuit	26						
27	SPARE	20 A	1		--	--		0.0 kVA	0.0 kVA	--	--	3	1	20 A	SPARE	28						
29	water heater	20 A	2	2	24.0	E			2.5 kVA	0.0 kVA	--	--	3	1	20 A	SPARE	30					
31							2.5 kVA	0.0 kVA						--	--	3	1	20 A	SPARE	32		
33	space	--	1		--	--		--	0.0 kVA		--	--	3	1	20 A	SPARE	34					
35	SPARE	20 A	1	3	--	--			0.0 kVA	0.0 kVA	--	--	3	1	20 A	SPARE	36					
37	space	--	1		--	--	--	--			--	--		1	--	space	38					
39	space	--	1		--	--		--	--		--	--		1	--	space	40					
41	space	--	1		--	--			--	--	--	--		1	--	space	42					
KVA							16.8 kVA	16.0 kVA	17.0 kVA													
AMPS							141 A	133 A	143 A													
TYPE	DESCRIPTION	CONNECTED LOAD		DEMAND FACTOR		ESTIMATED DEMAND		PANEL TOTALS														
A	INTERIOR LIGHTING	0.0 kVA		0%		0.0 kVA																
B	EXTERIOR LIGHTING	0.0 kVA		0%		0.0 kVA		TOTAL CONNECTED KVA: 48.8 kVA														
C	COMFORT COOLING	36.0 kVA		100% + 25% LARGEST MOTOR		36.0 kVA		TOTAL CONNECTED AMPS: 138 A														
D	COMFORT HEATING	0.0 kVA		0%		0.0 kVA		TOTAL ESTIMATED KVA: 49.2 kVA														
E	MISCELLANEOUS MOTOR	7.0 kVA		100%		7.0 kVA		TOTAL ESTIMATED AMPS: 137 A														
F	KITCHEN EQUIPMENT	1.8 kVA		65%		1.2 kVA																
G	RECEPTACLES	5.0 kVA		100%		5.0 kVA																



2 LIGHTING CONTROL DIAGRAM
E200 NOT TO SCALE

NOTE:
ELECTRICAL CONTRACTOR TO CONFIRM IF EXISTING LIGHTING CONTROL PANEL HAS 2-HOUR OVERRIDE SWITCH. IF NOT, PROVIDE A 2-HOUR OVERRIDE SWITCH.

BRANCH CIRCUIT CONDUCTOR SIZING

CIRCUIT BREAKER SIZE	120V / 1-PHASE		208V / 1-PHASE		208V / 3-PHASE	
	CONDUCTOR SIZE	MAX LENGTH	CONDUCTOR SIZE	MAX LENGTH	CONDUCTOR SIZE	MAX LENGTH
15A	(2) #12, #12 G. IN 3/4" C.	74 FT.	(2) #12, #12 G. IN 3/4" C.	127 FT.	(3) #12, #12 G. IN 3/4" C.	147 FT.
20A	(2) #12, #12 G. IN 3/4" C.	55 FT.	(2) #12, #12 G. IN 3/4" C.	96 FT.	(3) #12, #12 G. IN 3/4" C.	110 FT.
25A	(2) #10, #10 G. IN 3/4" C.	68 FT.	(2) #10, #10 G. IN 3/4" C.	118 FT.	(3) #10, #10 G. IN 3/4" C.	136 FT.
30A	(2) #10, #10 G. IN 3/4" C.	57 FT.	(2) #10, #10 G. IN 3/4" C.	98 FT.	(3) #10, #10 G. IN 3/4" C.	114 FT.
35A	(2) #8, #10 G. IN 3/4" C.	77 FT.	(2) #8, #10 G. IN 3/4" C.	133 FT.	(3) #8, #10 G. IN 3/4" C.	153 FT.
40A	(2) #8, #10 G. IN 3/4" C.	67 FT.	(2) #8, #10 G. IN 3/4" C.	116 FT.	(3) #8, #10 G. IN 3/4" C.	134 FT.
45A	(2) #8, #10 G. IN 3/4" C.	60 FT.	(2) #8, #10 G. IN 3/4" C.	103 FT.	(3) #8, #10 G. IN 3/4" C.	119 FT.
50A	(2) #8, #10 G. IN 3/4" C.	54 FT.	(2) #8, #10 G. IN 3/4" C.	93 FT.	(3) #8, #10 G. IN 3/4" C.	107 FT.
60A	(2) #6, #10 G. IN 3/4" C.	69 FT.	(2) #6, #10 G. IN 3/4" C.	120 FT.	(3) #6, #10 G. IN 1" C.	139 FT.
70A	(2) #4, #8 G. IN 1" C.	89 FT.	(2) #4, #8 G. IN 1" C.	155 FT.	(3) #4, #8 G. IN 1" C.	179 FT.
80A	(2) #4, #8 G. IN 1" C.	78 FT.	(2) #4, #8 G. IN 1" C.	135 FT.	(3) #4, #8 G. IN 1" C.	156 FT.
90A	(2) #3, #8 G. IN 1" C.	87 FT.	(2) #3, #8 G. IN 1" C.	150 FT.	(3) #3, #8 G. IN 1-1/4" C.	174 FT.
100A	(2) #3, #8 G. IN 1" C.	78 FT.	(2) #3, #8 G. IN 1" C.	135 FT.	(3) #3, #8 G. IN 1-1/4" C.	156 FT.
110A	(2) #2, #6 G. IN 1" C.	85 FT.	(2) #2, #6 G. IN 1" C.	148 FT.	(3) #2, #6 G. IN 1-1/4" C.	171 FT.
125A	(2) #1, #6 G. IN 1-1/4" C.	94 FT.	(2) #1, #6 G. IN 1-1/4" C.	163 FT.	(3) #1, #6 G. IN 1-1/2" C.	188 FT.
150A	(2) 1/0, #6 G. IN 1-1/4" C.	96 FT.	(2) 1/0, #6 G. IN 1-1/4" C.	167 FT.	(3) 1/0, #6 G. IN 1-1/2" C.	192 FT.
175A	(2) 2/0, #6 G. IN 1-1/2" C.	97 FT.	(2) 2/0, #6 G. IN 1-1/2" C.	169 FT.	(3) 2/0, #6 G. IN 2" C.	195 FT.
200A	(2) 3/0, #6 G. IN 1-1/2" C.	100 FT.	(2) 3/0, #6 G. IN 1-1/2" C.	173 FT.	(3) 3/0, #6 G. IN 2" C.	200 FT.
225A	(2) 4/0, #4 G. IN 2" C.	104 FT.	(2) 4/0, #4 G. IN 2" C.	181 FT.	(3) 4/0, #4 G. IN 2" C.	208 FT.
250A	(2) 250, #4 G. IN 2" C.	103 FT.	(2) 250, #4 G. IN 2" C.	178 FT.	(3) 250, #4 G. IN 2-1/2" C.	206 FT.
300A	(2) 350, #4 G. IN 2-1/2" C.	104 FT.	(2) 350, #4 G. IN 2-1/2" C.	181 FT.	(3) 350, #4 G. IN 3" C.	208 FT.
350A	(2) 500, #2 G. IN 2-1/2" C.	107 FT.	(2) 500, #2 G. IN 2-1/2" C.	186 FT.	(3) 500, #2 G. IN 3" C.	214 FT.
400A	(2) 600, #3 G. IN 3" C.	100 FT.	(2) 600, #3 G. IN 3" C.	173 FT.	(3) 600, #3 G. IN 4" C.	200 FT.
450A	(2) SETS [(2) 4/0, #2 G. IN 2" C.]	104 FT.	(2) SETS [(2) 4/0, #2 G. IN 2" C.]	181 FT.	(2) SETS [(3) 4/0, #2 G. IN 2" C.]	208 FT.
500A	(2) SETS [(2) 250, #2 G. IN 2" C.]	103 FT.	(2) SETS [(2) 250, #2 G. IN 2" C.]	178 FT.	(2) SETS [(3) 250, #2 G. IN 2-1/2" C.]	206 FT.
600A	(2) SETS [(2) 350, #1 G. IN 2-1/2" C.]	104 FT.	(2) SETS [(2) 350, #1 G. IN 2-1/2" C.]	181 FT.	(2) SETS [(3) 350, #1 G. IN 3" C.]	208 FT.

NOTICE OF EXEMPTION



TO: ☐ State of California
Office of Planning & Research
PO Box 3044
Sacramento, CA 95812-3044

☒ County Clerk
County of Orange
PO Box 238
Santa Ana, CA 92702

FROM: City of Irvine
Community Development Department
PO Box 19575
Irvine, CA 92623-9575

Attn: Adam Wong
Assistant Planner
949-724-5491

SUBJECT: Filing of **Notice of Exemption** in compliance with Section 15062 of the Public Resources Code.

Project Title and File No.: Administrative Use Permit for The Little Gym (File No. 00958407-PAUP)

Project Location: 3992 Barranca Parkway, Suite D, Planning Area 14 (West Park) in the City of Irvine, County of Orange
(include County)

Project Description: Approval of an administrative use permit to operate a commercial school.

Approving Public Agency: City of Irvine
Zoning Administrator
PO Box 19575
Irvine, CA 92623-9575

Approval Date: November 4, 2025
Resolution No. N/A

Project Applicant: Jose Antonio Barbosa Rosas
1801 N. Lamar Street
Dallas, TX 75202
Attn: Jose Antonio Barbosa Rosas
Abr@teamofchoice.com

Exempt Status:
(check one)

- ☐ Ministerial (Section 21080(b)(1); 15268)
- ☐ Declared Emergency (Section 21080(b)(3); 15269(a))
- ☐ Emergency Project (Section 21080(b)(4); 15269(b)(c))
- ☐ Statutory Exemption:
- ☒ Categorical Exemption: **Section 15301, Class 1 for Existing Facilities**
- ☐

Reason(s) Why Project Is Exempt: The project is exempt pursuant to CEQA Guidelines Section 15301 Class 1, Existing Facilities, which allows for the operation of, and minor alterations to, existing facilities involving negligible or no expansion of existing or former use. This project would allow a commercial school at an existing retail tenant space and involves no exterior improvements.

Adam Wong,
Assistant Planner

Name and Title

Signature

Date

ENCLOSURE 3